

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS

NOVEMBER 26, 2024 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION AGENDA

(1) **SP2024-046 (HENRY LEE)**

Discuss and consider a request by Frank Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger Rayburn County Electric Cooperative for the approval of a Site Plan for *Private Recreation Facilities* on a 1.57-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205], and take any action necessary.

(2) **SP2024-048 (HENRY LEE)**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Bill Bricker of Rockwall Property Corporation for the approval of a Site Plan for a *Dog Boarding Facility* on a 1.50-acre tract of land identified as a portion of Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at southwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on November 22, 2024 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/21/2024

PROJECT NUMBER: SP2024-046
PROJECT NAME: Site Plan for 2686 S. Goliad Street
SITE ADDRESS/LOCATIONS: 2686 S GOLIAD ST

CASE CAPTION: Discuss and consider a request by Frank Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger Rayburn County Electric Cooperative for the approval of a Site Plan for Private Recreation Facilities on a 1.57-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	11/21/2024	Needs Review

11/21/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Private Recreation Facilities on a 1.57-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2024-046) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish or abandoned easements.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan.

- (1) Please only delineate the building setback adjacent to S. Goliad Street. In addition, the front building setback is 25-feet. (Subsection 03.04.B, of Article 11, UDC)
- (2) Please verify how many courts will be within the facility. Based on the parking requirements shown on the site plan, there would only be two (2) courts within the building.

(Subsection 03.04.B, of Article 11, UDC)

- (3) Please indicate the height of the proposed fencing and gates. In addition, please provide a detail of the fence and gates. (Subsection 0308.02.F, of Article 08, UDC)
- (4) Please indicate any ground mounted equipment. On the landscape plan provide the necessary five (5) gallon evergreen shrubs for screening. (Subsection 01.05. C, of Article 05, UDC)
- (5) Please clarify if there will be any RTUs. If so, they must be crosshatched on the building elevations. (Subsection 01.05. C, of Article 05, UDC)
- (6) Provide a note that there will be no outside storage or above ground storage tanks. (Subsection 01.05. D, of Article 05, UDC)
- (7) Please clarify the dumpster situation. Will there be a dumpster enclosure or will poly carts be used? Please note that poly carts must be stored within the building, and if a dumpster enclosure is proposed it must be shown on the site plan and a detail (including elevations) must be provided. (Subsection 01.05, of Article 05, UDC)

M.7 Landscape Plan.

- (1) Please delineate and label the 25-foot landscape buffer along S. Goliad Street. (Subsection 05.01, of Article 08, UDC)
- (2) Per the Planned Development District 44 (PD-44) Ordinance, "berms and shrubbery shall have a minimum combined height of 48-inches." Please delineate the berm on the landscape plan and provide the required shrubs. (PD-44, Ordinance No. 24-30)

M.8 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please note that up lighting is not permitted. (Subsection 03.03, of Article 07, UDC)
- (3) The light levels may not exceed 0.2 FC at any property line where new light fixtures are proposed. Currently the lighting on the new building exceeds this requirement. If none of the lighting is being replaced for the basketball court then this does not need to be included on the photometric plan. If this lighting is being replaced, it must meet the 0.2 FC requirement. (Subsection 03.03.G, of Article 07, UDC)
- (4) Please provide lighting cut sheets for all proposed fixtures. (Subsection 03.03, of Article 07, UDC)

M.9 Building Elevations

- (1) Please update the table indicating the percentage surface area for each of the proposed materials. This should not include the roof. This will change the material percentages for the stone and stucco. Based on this, the stone may be over the 20% stone requirements (Subsection 04.01, of Article 05, UDC)
- (2) Each façade is required 20% natural or quarried stone. In this case, the north and south facades do not meet this requirement. With the roof being removed from the material calculations, the east and west facades may or may not meet this requirement. This will be a variance.
- (3) Each façade is limited to 50% cementitious material on each façade. In this case, each façade does not meet this requirement. This will be a variance.
- (4) Please update the stone callout in the material percentage tables. It is currently indicated as TBD, but the material sample board provided a specific stone. (Subsection 06.02.C, of Article 05, UDC)
- (5) The proposed building does not meet the four (4) sided architecture or articulation standards. These will be variances. (Subsection 04.01.C, of Article 05, UDC)
- (6) Please provide building elevations for the existing basketball court facility. (Subsection 03.04.B, of Article 11, UDC)

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.11 Revised and corrected plans are due by 3:00 PM on December 3, 2024.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on November 26, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on December 10, 2024.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

- 11/19/2024: 1. Will need a looped water main - cannot dead end this main. Is it tying into an existing main? Please clarify.
2. Fence shall "straddle" the water line easement. No poles or structures allowed in easements.
 3. Shift location so that meter is not in parking stall or sidewalk next to the building.
 4. All site drainage must go to the existing detention system.
 5. Check with the Fire Marshal to make sure that you don't need additional fire hydrants.
 6. Min 10' island
 7. Dead end fire lane is too long without a Fire Department turn around
 8. Currently not a fire lane. Need to plat as fire lane

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction Manual
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences with easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Show commercial dumpster location on site plan, if there will be a commercial dumpster.
- Additional comments may be provided at time of Engineering submittal.

Drainage Items:

- No Detention is required
- Existing flow patterns must be maintained.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- There is currently an existing 12" water main and a 8" water main running along SH205 available for use if needed.
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is currently an existing 10" sewer main and manhole on the southwest side of the property available for use if needed.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Commercial sanitary sewer services are minimum 6", and connected to a manhole.

Roadway Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed)

- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without a City approved turnaround.
- All drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.
- If remaining separate lots, will need access easements on this lot and adjacent.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	11/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/18/2024	Approved w/ Comments

11/18/2024: Gates that cross the fire lane will need to have a permit from the fire department.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	11/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/19/2024	Approved w/ Comments

11/19/2024: Landscape plants are good varieties and will do well

There are better varieties of Bermudagrass that are more drought, cold, wear and shade tolerant such as Tif Tuf and Tahoma 31.

General Items:

- Must meet City's 2023 Standards of Design and Construction Manual
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- No structures or fences with easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- All utilities must be underground.
- Show commercial dumpster location on site plan, if there will be a commercial dumpster.
- Additional comments may be provided at time of Engineering submittal.

Drainage Items:

- No Detention is required
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- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

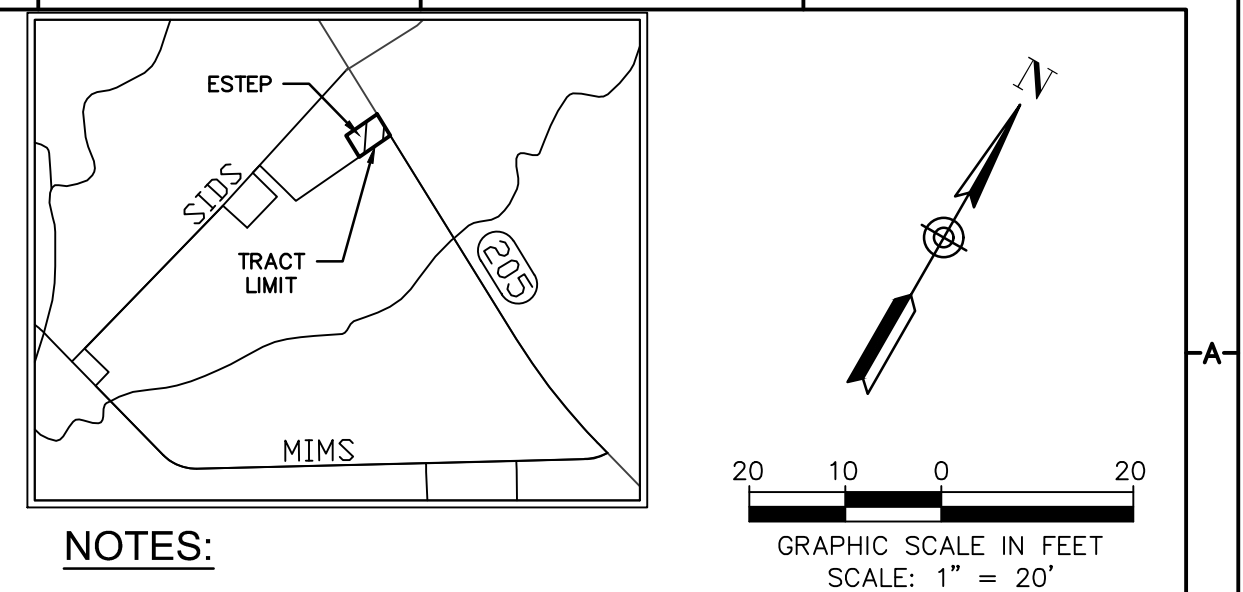
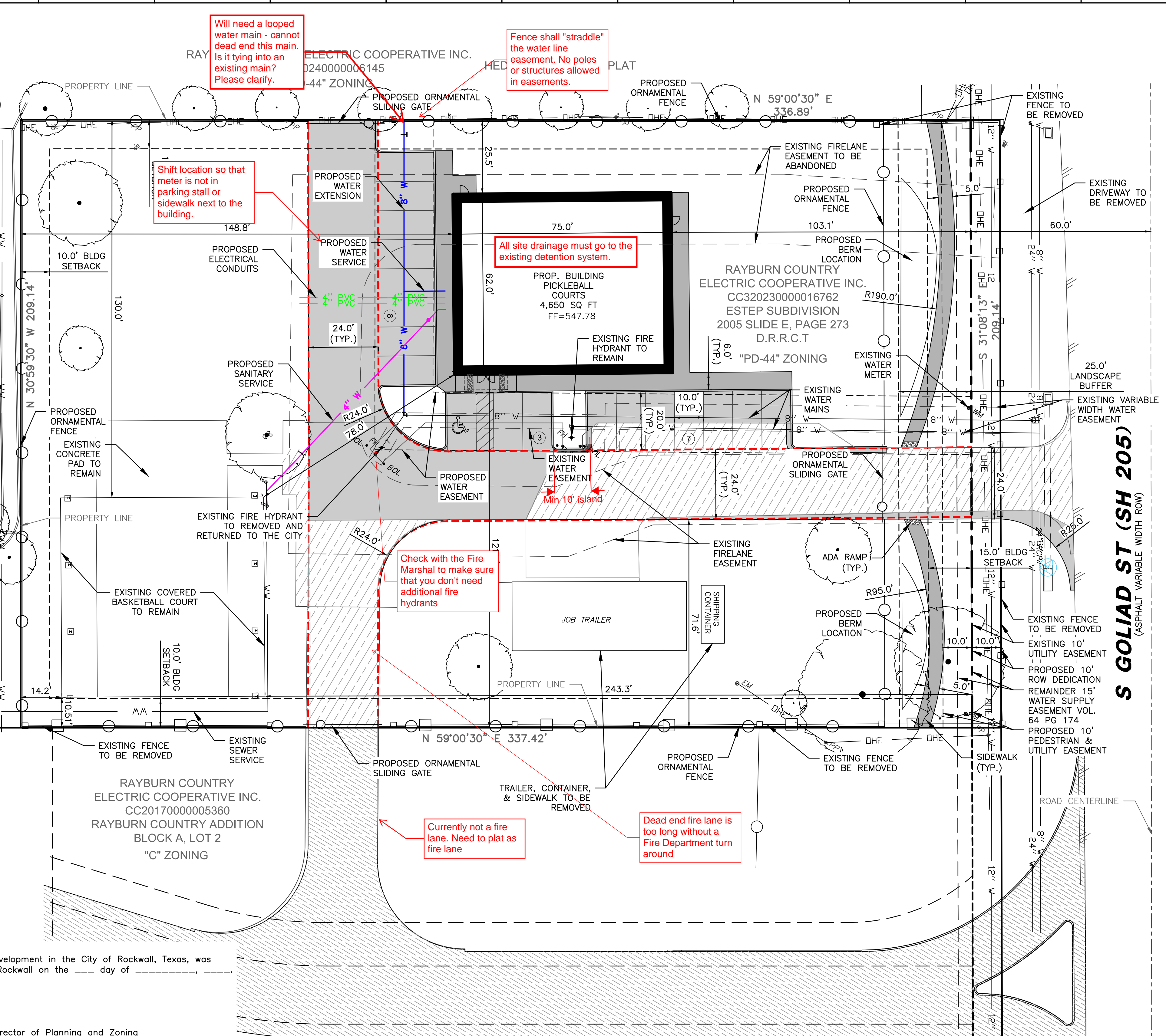
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Roadway Paving Items:

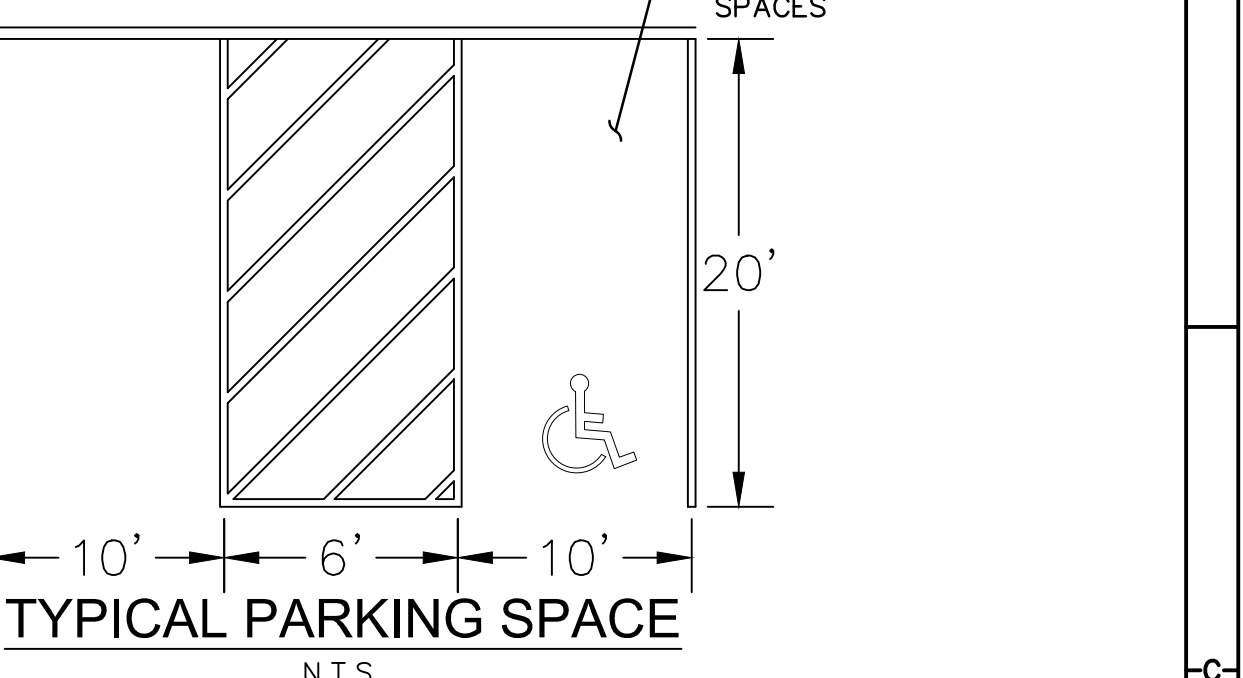
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Landscaping:

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- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



- NOTES:**
1. ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
 2. ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
 3. EXISTING UTILITY, WATER, AND FIRELANE EASEMENT TO BE REPLATTED FOR NEW SITE LAYOUT.
 4. ALL RADIUS ARE 2' UNLESS OTHERWISE STATED.



LEGEND

EM	EX. ELECTRIC METER
ICV	EX. IRRIGATION CONTROL VALVE
B	EX. BOLLARD
WM	EX. WATER METER
SSM	EX. SANITARY SEWER MANHOLE
EB	EX. ELECTRIC BOX
FH	EX. FIRE HYDRANT
X" W	EX. WATER MAIN PIPE
X" WW	EX. WASTE WATER MAIN PIPE
XX" RCP	EXISTING CONCRETE PIPE & SIZE
□	EXISTING WROUGHT IRON FENCE
○	EXISTING CHAIN LINK FENCE
○PP	EXISTING POWER POLE
—OHE—	EXISTING OVERHEAD ELECTRIC
—	EXISTING GUY WIRE
⊠	EXISTING FLOOD LIGHT
—	EDGE OF ASPHALT
○—○	PROPOSED ORNAMENTAL FENCE
■	BFR — CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
▨	ACCESSIBLE AISLE STRIPING
■	PROPOSED CONCRETE SIDEWALK
■	PROPOSED CONCRETE PAVEMENT
▨	EXISTING SITE CONCRETE PAVEMENT TO REMAIN
▨	EXISTING CAMPUS CONCRETE PAVEMENT TO REMAIN

ARCHITECT
 MCCARTHY ARCHITECTURE
 1000 N. FIRST ST.
 GARLAND, TX 75040

LANDSCAPE ARCHITECT
 DUNKIN SIM STOFFELS, INC.
 4305 PECAN GROVE LANE
 ROWLETT, TX 75088

OWNER/APPLICANT
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087
 469-402-2100

CIVIL ENGINEER
 R - DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040
 TBPE No. F-1515

PUBLIC OLD ONE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
17	1	18

PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW HAVE #3 BARS 24" O.C.E.W.

PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	
			MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.5
DRIVEWAYS	6"	3,600	6.0	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.5
DUMPSTER PADS	7"	3,600	6.0	6.5
SIDEWALKS	4"	3,000	N/A	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____.

WITNESS OUR HANDS, this ___ day of _____, ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	11/13/2024	RDE	FAP	RDE	ISSUED FOR REVIEW

RAYBURN ELECTRIC COOPERATIVE
 618 Main Street
 Garland, TX 75040
 Ph. (972) 494-5031
 Fax (972) 487-2270
 www.rdelta.com
 TBPE No. F-1515

rdelta ENGINEERS

REC CAMPUS EXPANSION PICKLEBALL COURT
 2686 S GOLIAD ST (SH 205)
 ROCKWALL, TX 75032
 CASE # _____
CITY SITE PLAN SUBMITTAL

PROFESSIONAL ENGINEER
 FRANK A. POLMA, P.E. 80274
 NOVEMBER 13, 2024. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

JOB NO. 3036-21	DESIGN BY AGU
CREATED	CODE
PLOTTED 11/13/2024	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-1
APPROVED:	ISSUE: 0
FILENAME:	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input checked="" type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²</p> <p>NOTES:</p> <p>¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 2686 S Goliad St (SH205)

SUBDIVISION: Estep Subdivision LOT: 1 BLOCK: A

GENERAL LOCATION: 615 feet south of Sids Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: PD-44 CURRENT USE: Commercial

PROPOSED ZONING: _____ PROPOSED USE: Recreation Facility

ACREAGE: 1.57 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Rayburn County Electric Coop.	<input type="checkbox"/> APPLICANT	R-Delta Engineers Inc
CONTACT PERSON	Stephen Geiger	CONTACT PERSON	Frank A Polma, P.E.
ADDRESS	950 Sids Road	ADDRESS	618 Main Street
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Garland, TX 75040
PHONE	469-402-2112	PHONE	972-494-5031
E-MAIL	sgeiger@rayburnelectric.com	E-MAIL	fapolma@rdelta.com

NOTARY VERIFICATION [REQUIRED]

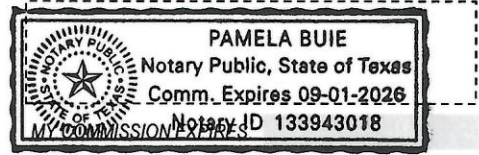
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Naylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 331.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF November, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF November, 2024

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



0 30 60 120 180 240 Feet

SP2024-046: Site Plan for 2686 S. Goliad Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SITE INFORMATION:

EXISTING ZONING: PD-44
 PROPOSED ZONING: NO CHANGE
 PROPOSED USE: PICKLEBALL COURTS
 TOTAL AREA: 70,511 SQ FT 1.619 AC

"PD-44" ZONING
 MAXIMUM BUILDING HEIGHT: 60 FT
 MAXIMUM LOT COVERAGE: 60%
 MAXIMUM FLOOR AREA RATIO: 4:1
 MAXIMUM IMPERVIOUS PARKING: 85% TO 90%

PROPOSED MAX. BUILDING HEIGHT: 30'-4"
 PROPOSED LOT COVERAGE: 33,339/70,511 = 47.3%
 PROPOSED FLOOR AREA RATIO: 4,650/70,511 = 6.6%
 PROPOSED IMPERVIOUS PARKING: 5,580/70,511 = 7.9%

REQUIRED PARKING:
 PROPOSED BUILDING 4650 SQ FT
 (3:COURT & 1:200) = 30 SPACES

TOTAL REQUIRED PARKING = 30 SPACES
 TOTAL PROVIDED PARKING = 18 SPACES

EXISTING SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
7	1	8

PROPOSED SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
17	1	18

PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW HAVE #3 BARS 24" O.C.E.W.

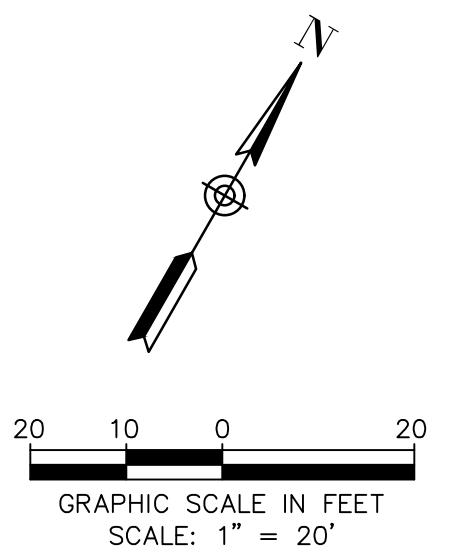
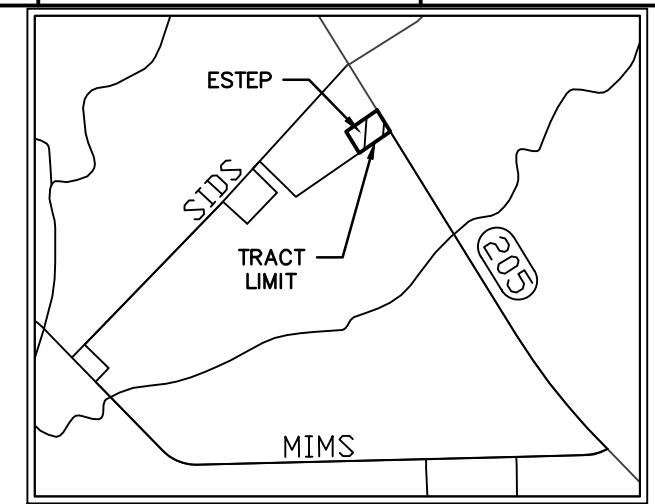
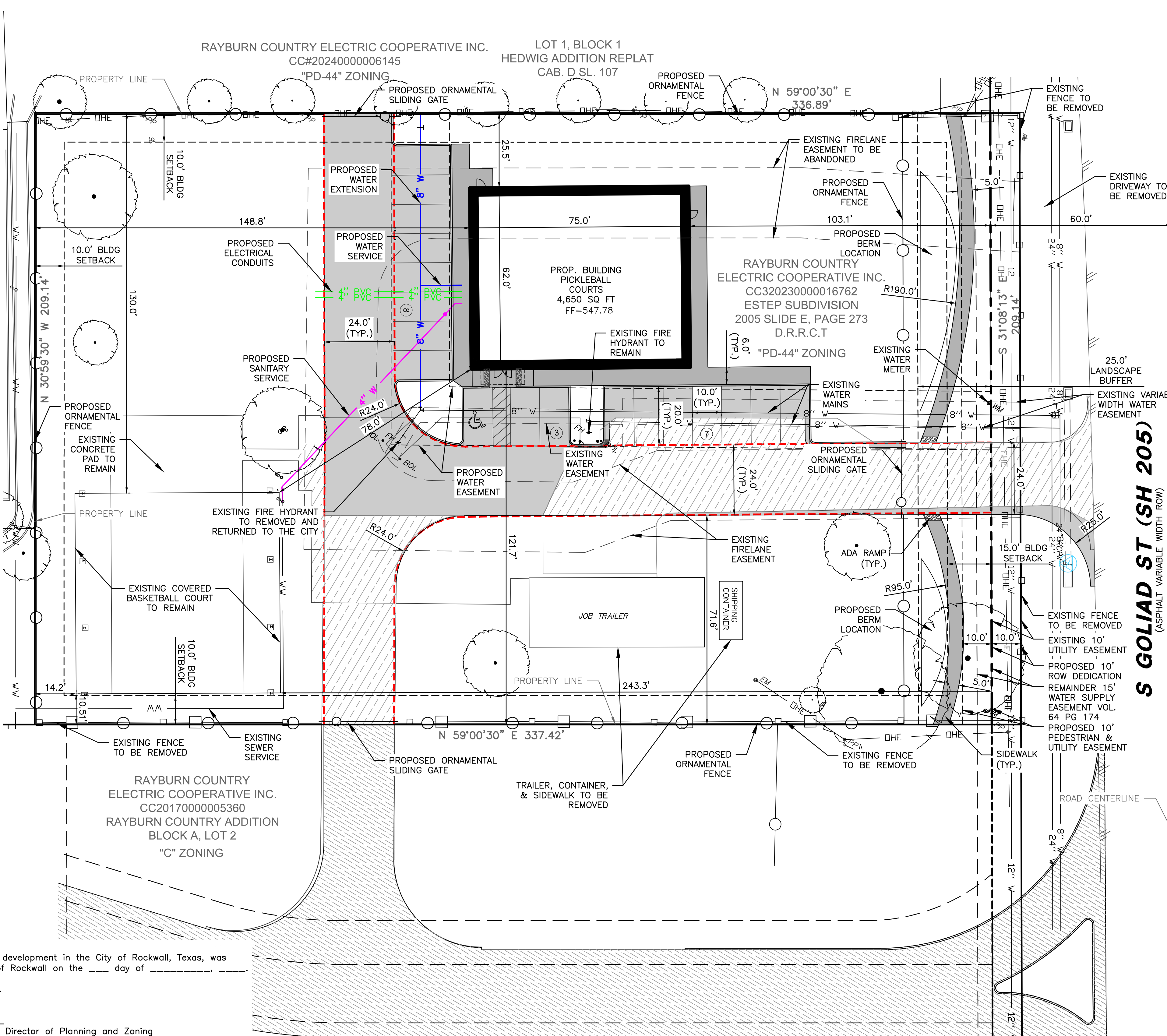
PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.5	6.5
DRIVEWAYS	6"	3,600	6.0	6.5	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.5	6.5
DUMPSTER PADS	7"	3,600	6.0	6.5	6.5
SIDEWALKS	4"	3,000	N/A	5.5	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5	5.5

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____.

WITNESS OUR HANDS, this ___ day of _____, ____.

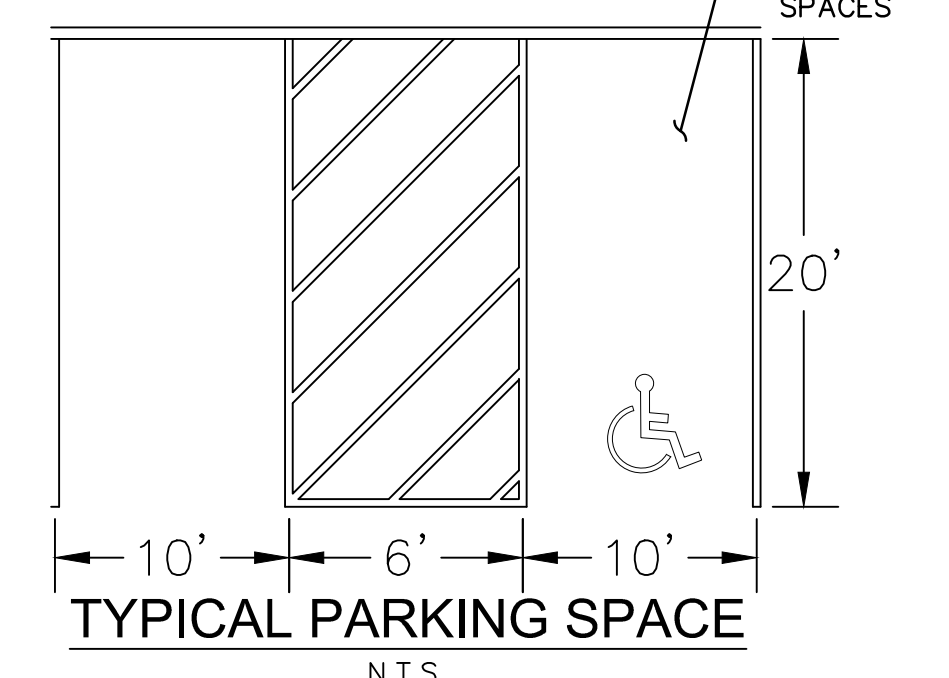
Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	11/13/2024	RDE	FAP	RDE	ISSUED FOR REVIEW



NOTES:

- ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
- EXISTING UTILITY, WATER, AND FIRELANE EASEMENT TO BE REPLATTED FOR NEW SITE LAYOUT.
- ALL RADIUS ARE 2' UNLESS OTHERWISE STATED.



LEGEND

- ARCHITECT**
 MCCARTHY ARCHITECTURE
 1000 N. FIRST ST.
 GARLAND, TX 75040
- LANDSCAPE ARCHITECT**
 DUNKIN SIM STOFFELS, INC.
 4305 PECAN GROVE LANE
 ROWLETT, TX 75088
- OWNER/ APPLICANT**
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087
 469-402-2100
- CIVIL ENGINEER**
 R - DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040
 TBPE No. F-1515
- EM EX. ELECTRIC METER
 - ICV EX. IRRIGATION CONTROL VALVE
 - B EX. BOLLARD
 - WM EX. WATER METER
 - SSMH EX. SANITARY SEWER MANHOLE
 - EB EX. ELECTRIC BOX
 - FH EX. FIRE HYDRANT
 - X" W EX. WATER MAIN PIPE
 - X" WW EX. WASTE WATER MAIN PIPE
 - XX" RCP EX. EXISTING CONCRETE PIPE & SIZE
 - EXISTING WROUGHT IRON FENCE
 - EXISTING CHAIN LINK FENCE
 - OPP EX. EXISTING POWER POLE
 - OHE EX. EXISTING OVERHEAD ELECTRIC
 - EXISTING GUY WIRE
 - EXISTING FLOOD LIGHT
 - EDGE OF ASPHALT
 - PROPOSED ORNAMENTAL FENCE
 - BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
 - ACCESSIBLE AISLE STRIPING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONCRETE PAVEMENT
 - EXISTING SITE CONCRETE PAVEMENT TO REMAIN
 - EXISTING CAMPUS CONCRETE PAVEMENT TO REMAIN

REC
 Rayburn Electric
 COOPERATIVE
 618 Main Street
 Garland, TX 75040
 Ph. (972) 494-5031
 Fax (972) 487-2270
 www.rdelta.com
 TBPE No. F-1515

rdelta
 ENGINEERS

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY FRANK A. POLMA, P.E. 80274 ON NOVEMBER 13, 2024. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

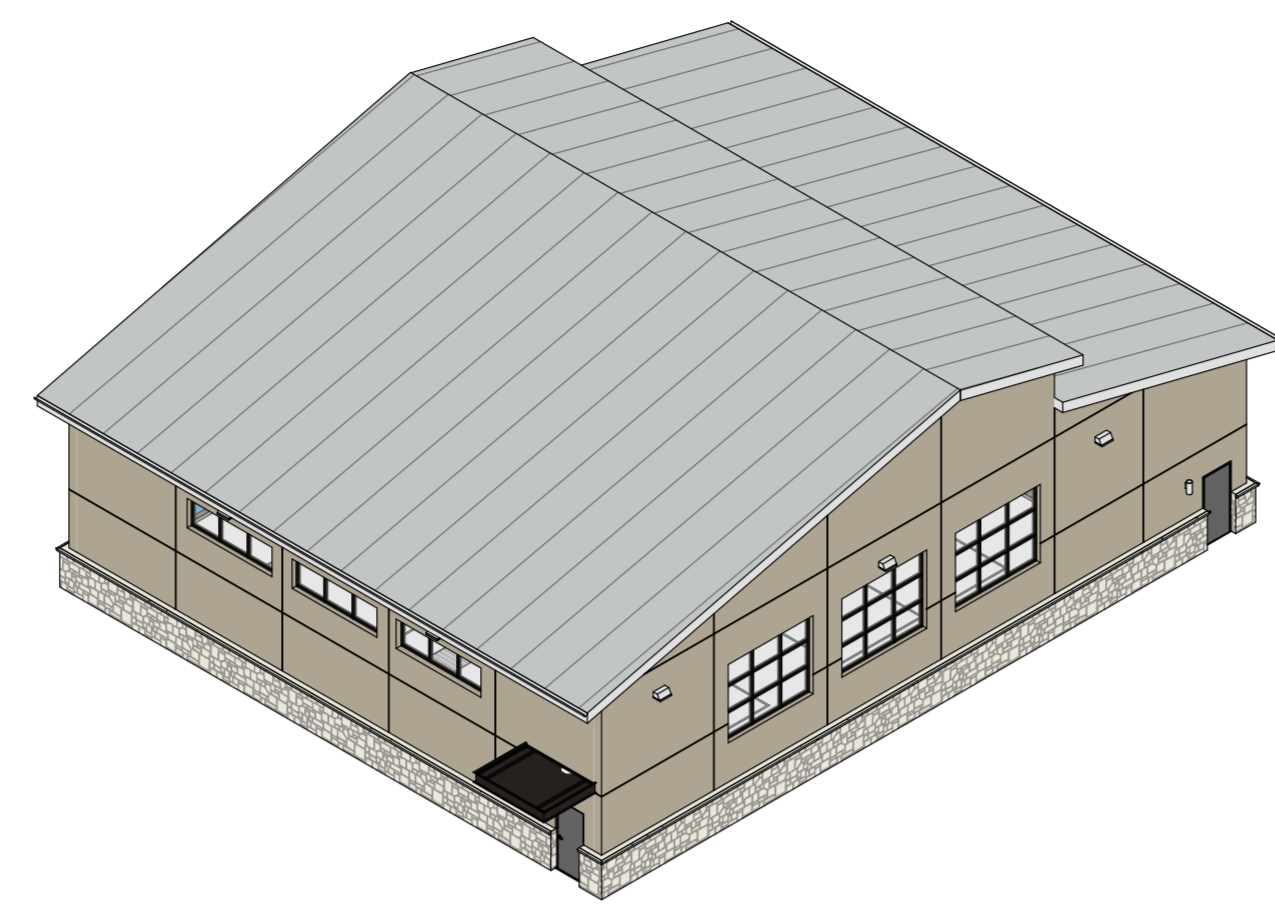
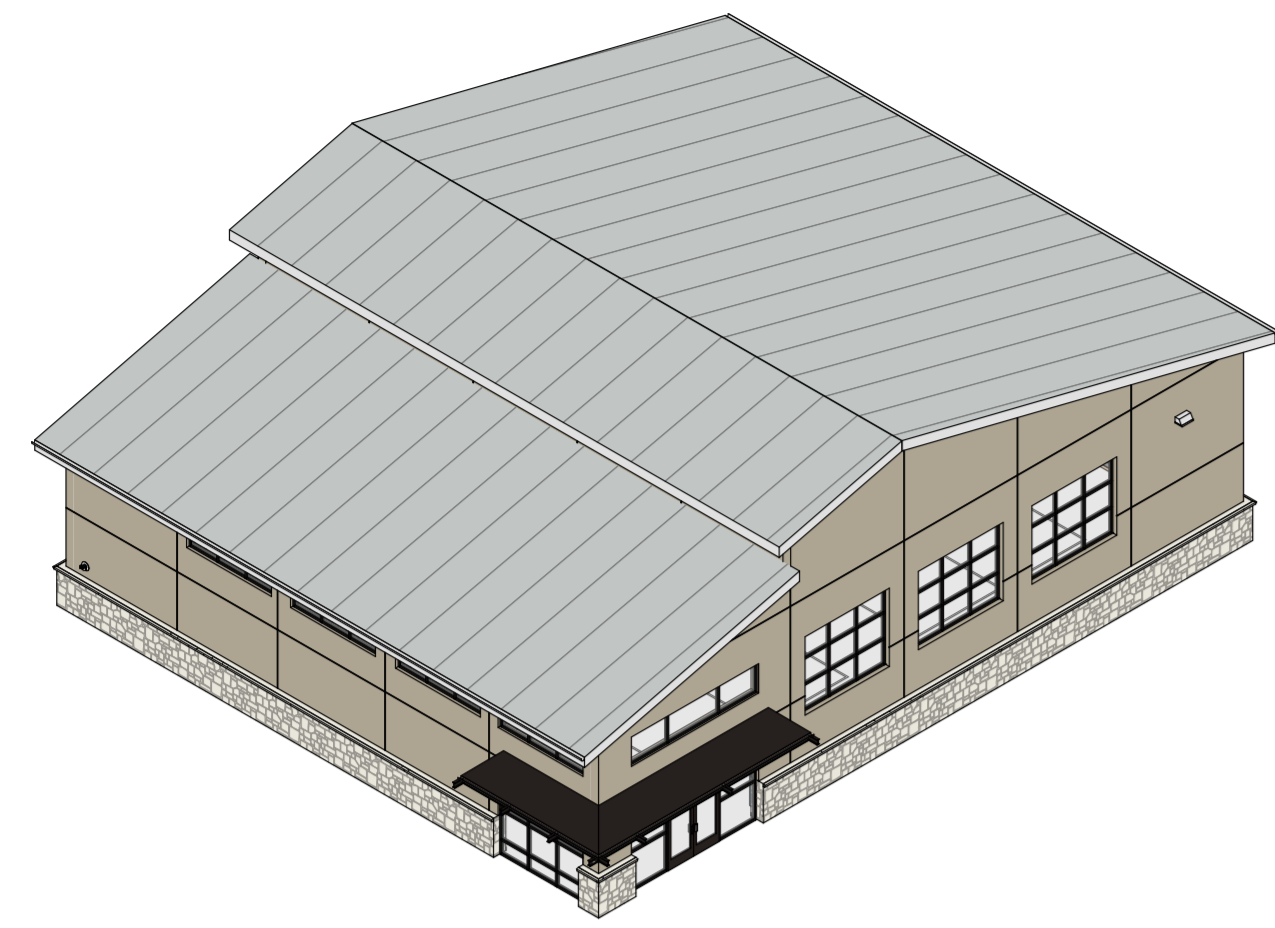
FRANK A. POLMA
 PROFESSIONAL ENGINEER

JOB NO. 3036-21 DESIGN BY AGU
 CREATED CODE
 PLOTTED 11/13/2024 CHECKED BY RDE
 LAST UPDATE BY

DRAWN: RDE SCALE: AS NOTED
 CHECKED: DRAWING NO.:
 APPROVED: SP-1 ISSUE: 0
 FILENAME:

**REC CAMPUS EXPANSION
 PICKLEBALL COURT**
 2686 S GOLIAD ST (SH 205)
 ROCKWALL, TX 75032

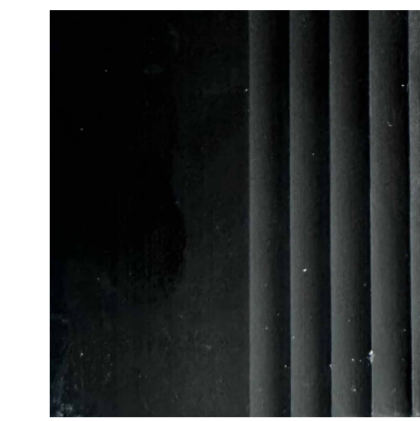
CASE #
CITY SITE PLAN SUBMITTAL



STUCCO -
SW9111 VELVET
ANTLER



STONE - TBD



DARK BRONZE
ALUM. FRAME



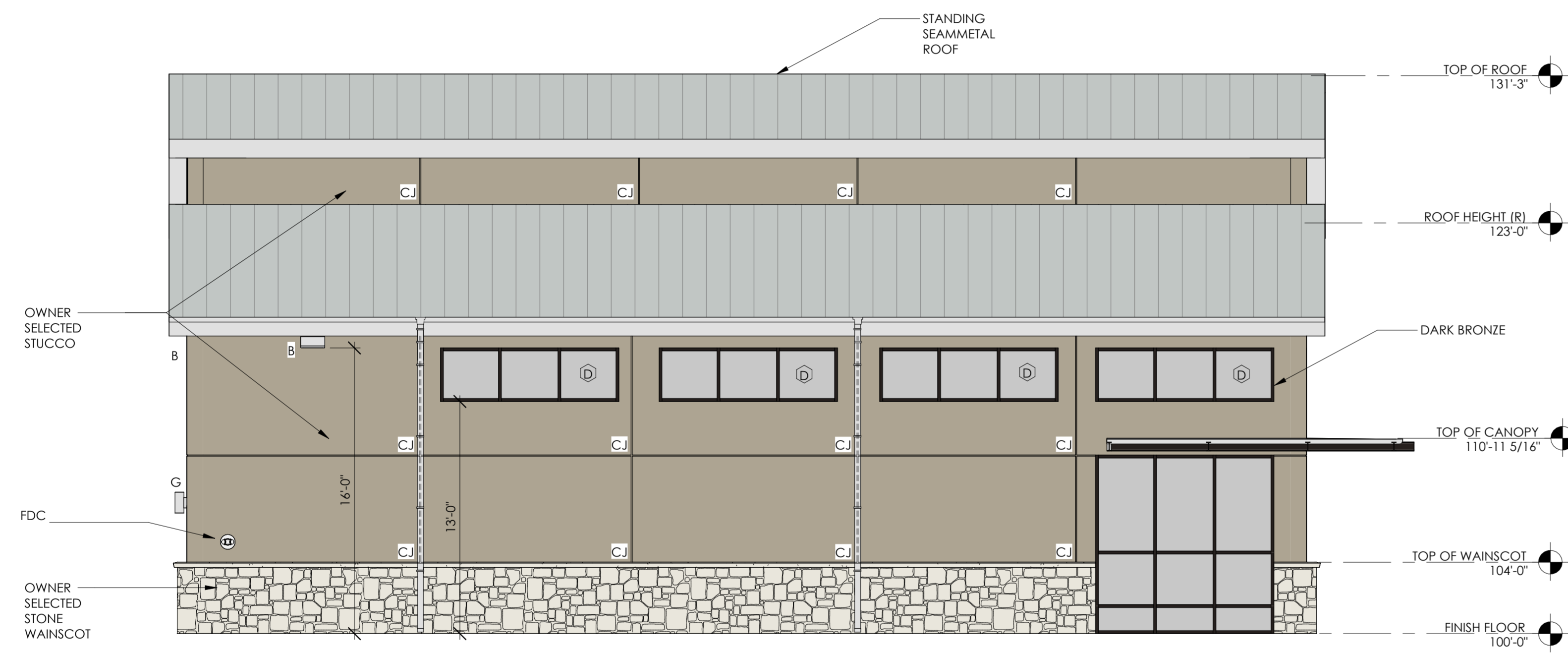
GALVALUME

BUILDING MATERIAL CALCULATIONS FOR WALLS

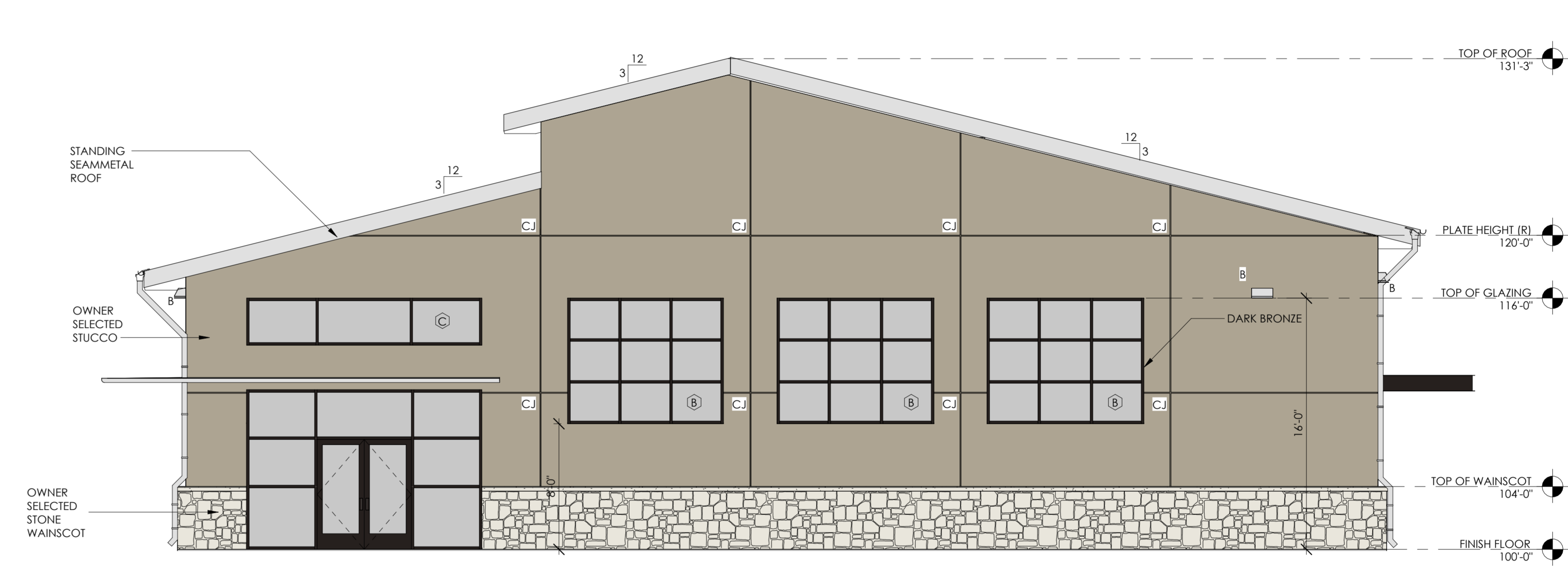
CATEGORIES	WEST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1612.22 S.F.	100%
Galvalume roof	635.85 S.F.	39.4%
Stucco - Velvet antler SW 9111	762.85 S.F.	47.4%
Stone - TBD	213.52 S.F.	13.2%

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	SOUTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1391.16 S.F.	100%
Galvalume roof	0 S.F.	0%
Stucco - Velvet antler SW 9111	1145.22 S.F.	82.32%
Stone - TBD	245.94 S.F.	17.68%



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



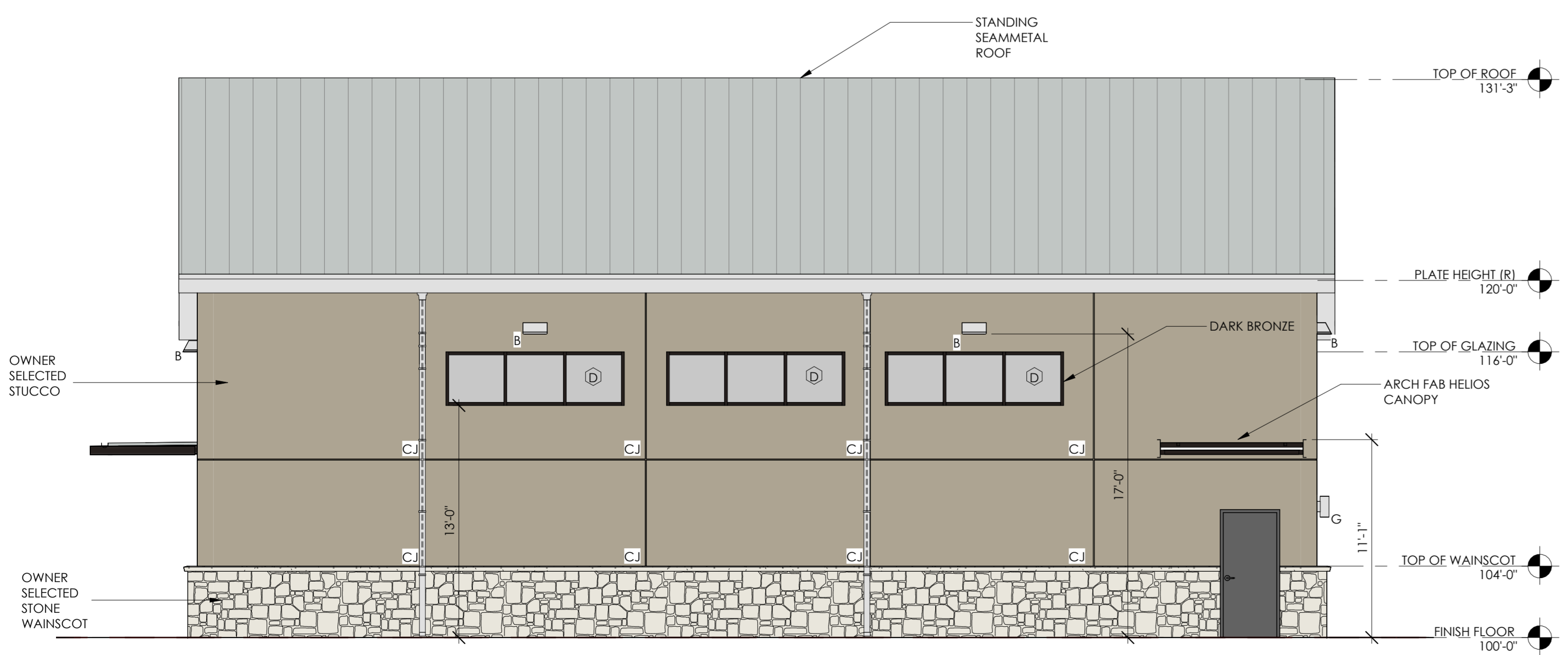
3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS

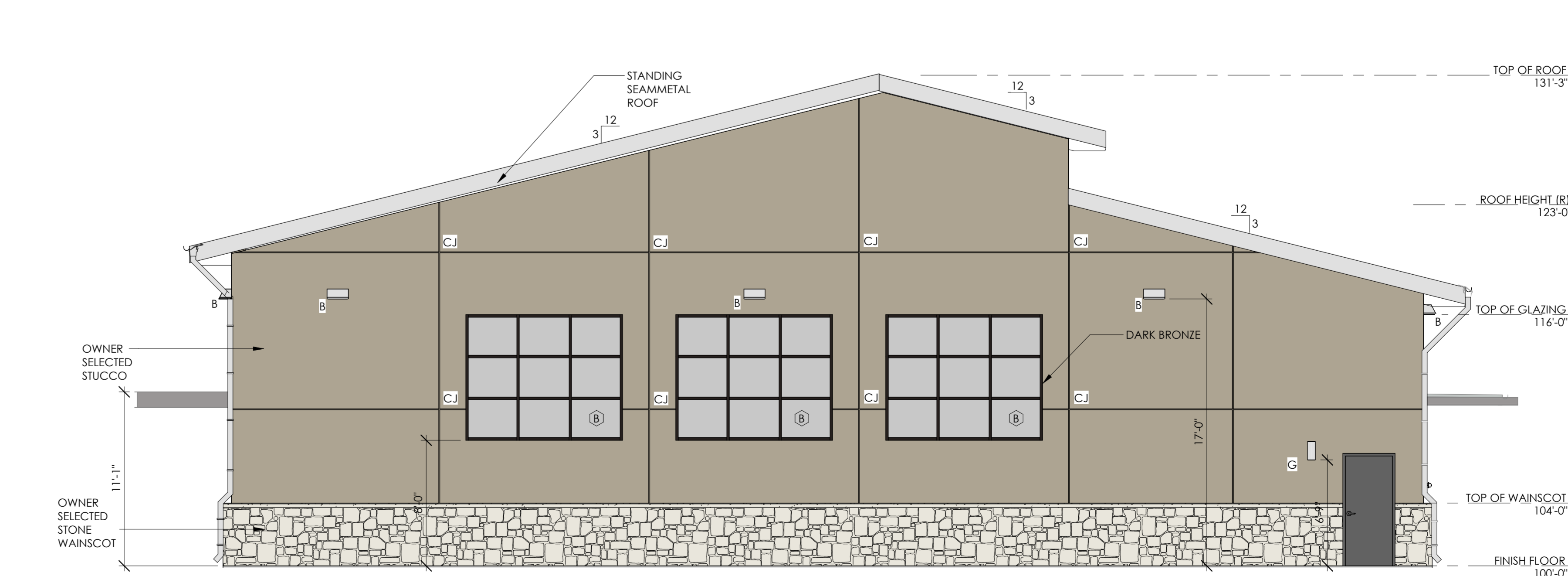
CATEGORIES	EAST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1793.7 S.F.	100%
Galvalume roof	701.29 S.F.	39.1%
Stucco - Velvet antler SW 9111	852.22 S.F.	47.5%
Stone - TBD	240.19 S.F.	13.4%

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	NORTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1564.3 S.F.	100%
Galvalume roof	0 S.F.	0%
Stucco - Velvet antler SW 9111	1271.70 S.F.	81.3%
Stone - TBD	292.60 S.F.	18.7%



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

LANDSCAPE REQUIREMENTS
Total Site Area - 70,511 SF = 1.619 Acres

Site Landscape Area
Total Site Landscape Area - 46,278 SF = 65% of Site
45,361 SF TURF PROVIDED
917 SF LANDSCAPE PLANTING BED PROVIDED

Landscape Buffer Components Street Frontage- SH 205
Total (25' Wide) Required Landscape Buffer Area - 5,225 SF
Total (30' Wide) Provided Landscape Buffer Area - 6,270 SF

917 SF OF LANDSCAPE BED
4,308 SF OF TURF PROVIDED

Landscape Buffer Trees Street Frontage- SH 205
Street Frontage Length - 209 LF
3 Canopy Tree per 100 LF of Street Frontage (Min. 4" Cal.)
4 Accent Tree per 100 LF of Street Frontage (4' Ht. Min.)

7 CANOPY / 9 ACCENT TREES REQUIRED
7 CANOPY / 9 ACCENT TREES PROVIDED

Landscape Parking Trees
1 Canopy Tree/ 10 parking spaces
1 Tree within 80' of each parking space

2 TREES REQUIRED
3 TREES PROVIDED

IRRIGATION:
An automatic irrigation system will be installed by the Owner, to water the required landscape improvements. Irrigation plans to be provided.

NOTE:
Landscape Plans shall meet requirements in the Unified Development Code-Article 8 and the 205 PD-044 with exceptions granted to Owner.

Trees that are existing within the landscape buffer or limbs that enter into the landscape buffer shall be pruned by a certified arborist. It shall be pruned to allow for sunlight to filter through existing tree to facilitate success of newly planted trees.

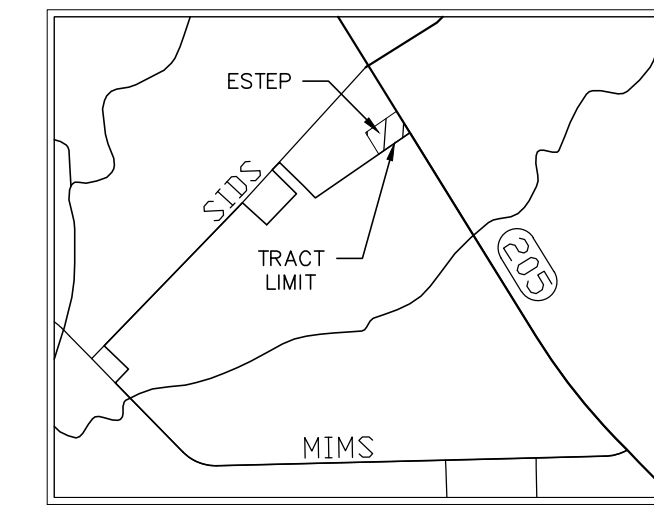
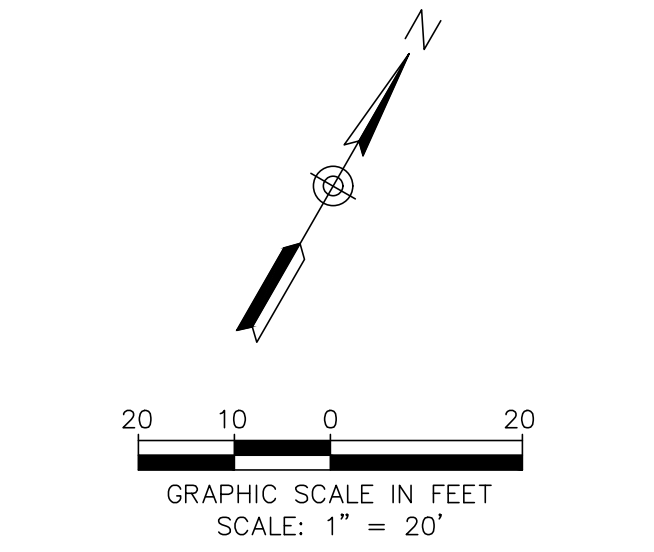
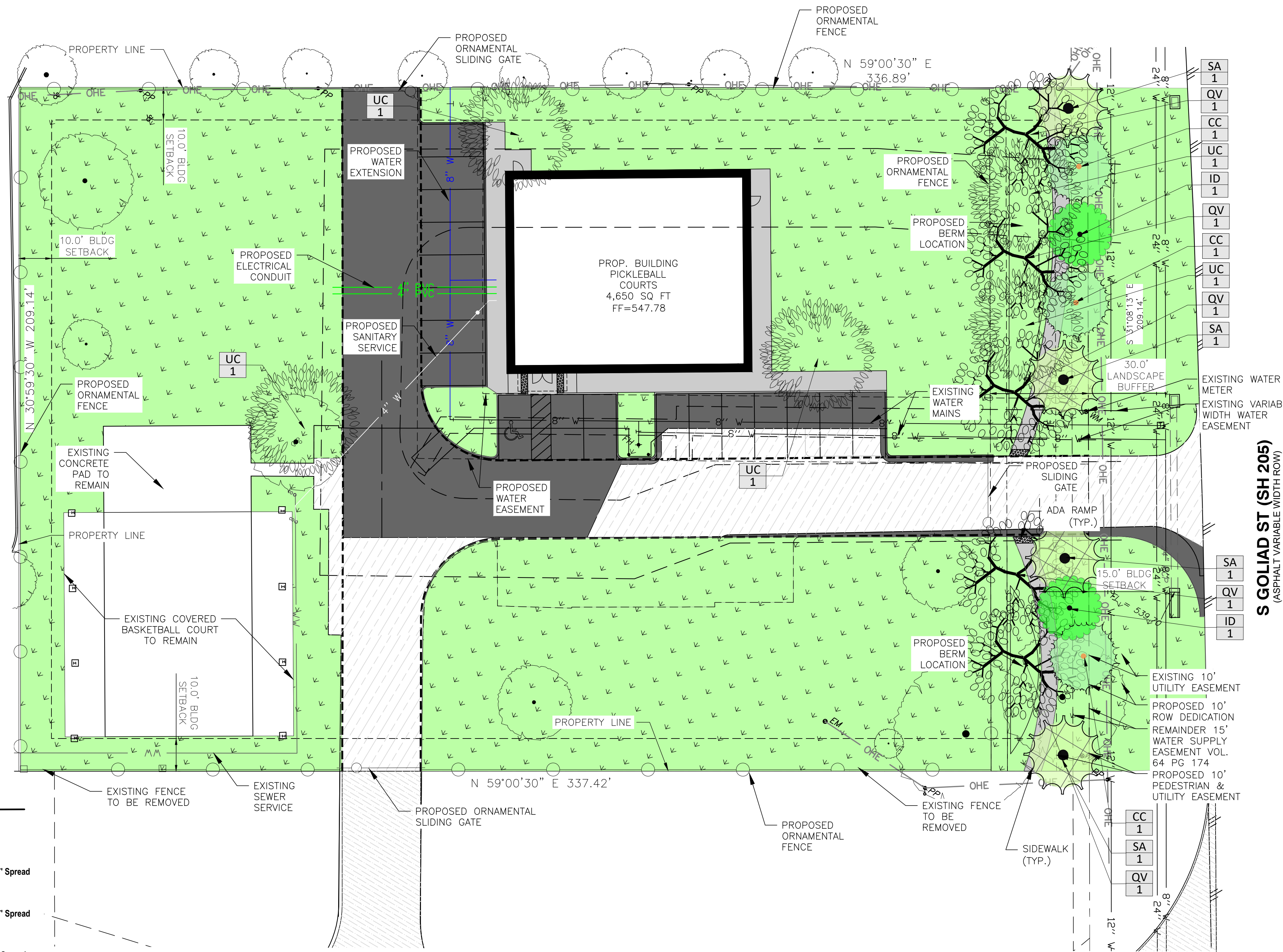
LEGEND

LO 3 PLANT SYMBOL, REF. PLANT SCHEDULE
PLANT QUANTITY

EXISTING TREES TO REMAIN

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	QV	5	Quercus virginiana	Live Oak	65 gal.	Cont.	4" Caliper, Min 12' Height, 7' Spread
	UC	5	Ulmus crassifolia	Cedar Elm	65 gal.	Cont.	4" Caliper, Min 12' Height, 7' Spread
	CC	3	Cercis canadensis	Red Bud	45 gal.	Cont.	3" Caliper, Min 6' Height, 4' Spread
	ID	2	Ilex decidua	Possumhaw Holly	45 gal.	Cont.	3" Caliper, Min 6' Height, 4' Spread
	SA	4	Sophora affinis	Eve's Necklace	45 gal.		3" Caliper, Min 6' Height, 4' Spread
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	Ber c11	46,612 s.f.	Bermuda species	Common Bermuda	Common Bermuda Grass	--	Solid Sod



- SA 1
- QV 1
- CC 1
- UC 1
- ID 1
- QV 1
- CC 1
- UC 1
- QV 1
- SA 1
- SA 1
- QV 1
- ID 1
- SA 1
- QV 1
- ID 1
- CC 1
- SA 1
- QV 1

SITE INFORMATION:
EXISTING ZONING: PD-44
PROPOSED ZONING: NO CHANGE
PROPOSED USE: PICKLEBALL COURTS
TOTAL AREA: 70,511 SQ FT 1.619 AC
"PD-44" ZONING
MAXIMUM BUILDING HEIGHT: 60 FT
MAXIMUM LOT COVERAGE: 60%
MAXIMUM FLOOR AREA RATIO: 4:1
MAXIMUM IMPERVIOUS PARKING: 85% TO 90%
PROPOSED MAX. BUILDING HEIGHT: 30'-4"
PROPOSED LOT COVERAGE: 33,339/70,511 = 47.3%
PROPOSED FLOOR AREA RATIO: 4,650/70,511 = 6.6%
PROPOSED IMPERVIOUS PARKING: 5,580/70,511 = 7.9%
EXISTING PARKING:
EXISTING JOB TRAILER TO BE REMOVED LEAVING NO BUILDINGS
REQUIRED PARKING:
PROPOSED BUILDING 4650 SQ FT (3:COURT & 1:200) = 30 SPACES
TOTAL REQUIRED PARKING = 30 SPACES
TOTAL PROVIDED PARKING = 18 SPACES

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, _____.
WITNESS OUR HANDS, this ___ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

0	11/14/2024	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE

REC
Rayburn Electric
COOPERATIVE
618 Main Street
Garland, TX 75040
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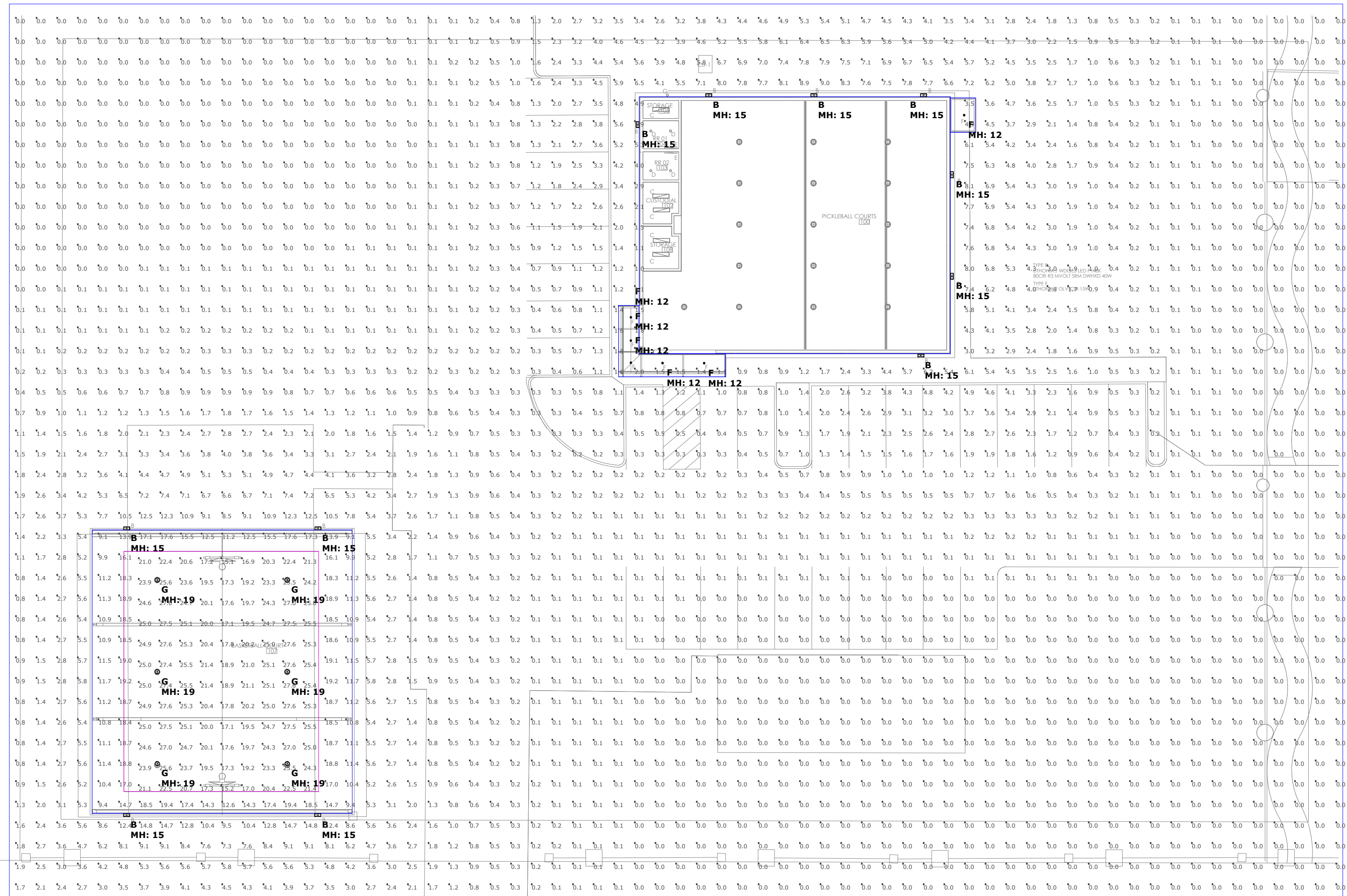
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ENGINEERS



THE CROSSHAIR APPEARING ON THIS DOCUMENT IS VOID IF, AND ONLY IF, ACCOMPANIED BY AN ORIGINAL SIGNATURE OF THE REGISTRANT AND DATE OF EXECUTION. DOCUMENTS NOT BEARING EACH OF THE 3 AFFOREMENTIONED ITEMS SHALL BE CONSIDERED INCOMPLETE AND SHALL NOT BE USED FOR CONSTRUCTION, PERMIT, OR BIDDING PURPOSES.
THIS DRAWING IS RELEASED FOR REVIEW FOR BIDDING, CONSTRUCTION AND PERMITTING UNDER THE AUTHORITY OF ROBERT P. STOFFELS, LA #1025 ON OCTOBER 24, 2024.

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	11/14/2024	CHECKED BY	BS
LAST UPDATE BY			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	ISSUE:
APPROVED:		LP-1	0
FILENAME:			

REC CAMPUS EXPANSION
PICKLEBALL COURT
2686 S GOLIAD ST (SH 205)
ROCKWALL, TX 75032
CASE #
LANDSCAPE PLAN



Luminaire Schedule										
Symbol	Type	Qty	Manufacturer / Catalog Number			Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
□	B	11	LITHONIA WDGE3 LED P1 40K 80CRI R3 MVOLT SRM DWHXD			7524	51.172	1.000	0.850	1.000
⊙	F	6	LITHONIA OLVTCM			590	15.3	1.000	0.850	1.000
○	G	6	LITHONIA REBL ALO13 (18000LM) MD UVOLT SSW3 (40K) 80CRI [FINISH]			19371	118.4	1.000	0.850	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
SITE Planar	0	Fc	1.51	19.4	0.0	N.A.
BASKETBALL COURT	0	Fc	22.84	27.6	15.1	1.51

Notes:

1. Surface reflectances: Vertical/Horizontal - 50/20.
2. Calculation values are at height indicated in summary table.
3. Mounting heights are designated on drawing with "MH."
4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/21/2024

PROJECT NUMBER: SP2024-048
PROJECT NAME: Site Plan for River Dog Retreat
SITE ADDRESS/LOCATIONS: 100 S JOHN KING BLVD, ROCKWALL, TX 75087

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Bill Bricker of Rockwall Property Corporation for the approval of a Site Plan for a Dog Boarding Facility on a 1.50-acre tract of land identified as a portion of Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at southwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	11/21/2024	Needs Review

11/21/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Dog Boarding Facility on a 1.50-acre tract of land identified as a portion of Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at southwest corner of the intersection of Park Hills Boulevard and John King Boulevard.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2024-048) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish lot lines, and establish or abandoned easements.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan.

(1) The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block. (Subsection 03.04.B, of Article 11, UDC)

- (2) The vicinity map depicts the incorrect location. Please correct this. (Subsection 03.04.B, of Article 11, UDC)
- (3) Please label and delineate the building setbacks along John King Boulevard (i.e. 25-feet) and Park Hills Boulevard (i.e. 15-feet). (Subsection 03.04.B, of Article 11, UDC)
- (4) Please label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04.B, of Article 11, UDC)
- (5) Please indicate any medians and median breaks in the adjacent streets. (Subsection 03.04.B, of Article 11, UDC)
- (6) Please clarify the estimated retaining wall height. Retaining walls within an overlay district are required to be terraced; every four (4) feet in height a two (2) wide planting bed must be provided. (Subsection 06.02.E.3, of Article 05, UDC)
- (7) Per the OURHometown Vision 2040 Comprehensive Plan a trailhead (i.e. rest area) is required. See Appendix B of the Comprehensive Plan for the conceptual design. (OURHometown Vision 2040 Comprehensive Plan)
- (8) This project would be parked at Retail and not Office, at 1/250 SF, for a total of 25 parking spaces. (Table 5, of Article 06, UDC)
- (9) Indicate the type and depth of the paving material and provide a detail or cut-sheet. (Subsection 03.02, of Article 06, UDC)
- (10) All signage is reviewed and approved through a separate permitting process. Signage may not be located within any easements. (Subsection 06.02.F, of Article 05, UDC)
- (11) Wood is not a permitted fence material. I did not see a callout for a wood fence on the site plan, but included with the dumpster enclosure detail was a wood fence detail. (Subsection 08.02.F, of Article 08, UDC)
- (12) All pad mounted equipment must be shown on the site plan. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)
- (13) Will there be any equipment within the play yards? This equipment must be delineated on the site plan. In addition, elevations or specs for the equipment must be provided. (Subsection 01.05.C, of Article 05, UDC)
- (14) The canopies in the play areas shall be permanent and not temporary (i.e. not movable). Their location and size must be tied down through the site plan. This will be an exception. (Subsection 01.05.C, of Article 05, UDC)
- (15) Please provide a note that there will be no above ground storage tanks. (Subsection 01.05.D, of Article 05, UDC)
- (16) All dumpster enclosures must be 12-feet by 10-feet, and within the overlay district they must be 8-feet in height. Please correct the site plan and dumpster detail to reflect this. In addition, please denote that the brick on the enclosure will match the primary building. (Subsection 01.05.B, of Article 05, UDC)
- (17) The subject property has residential adjacency along the west property line. Please delineate and label the 20-foot residential adjacency buffer. Within this buffer there should be either a masonry wall with canopy trees on 20-foot centers, or three (3) tiered landscaping with a wrought iron fence. If you are requesting to utilize the existing tree line as the landscaping for this buffer it will be an exception. (Subsection 01.06, of Article 05, UDC)
- (18) Please provide a note that there will be no outside pens/kennels. (Subsection 02.03, of Article 04, UDC)
- (19) Will there be artificial turf associated with this project? If so, please delineate the areas that will be artificially turfed. In addition, please provide a spec sheet for the proposed turf that meets the UDC requirements. This will be an exception. (Section 04, of Article 08, UDC)

M.7 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please update the landscape table to include the size of the plantings. Canopy trees must be 4-caliper inches, accent trees 4-feet in height, and shrubs 5-gallons. (Subsection 05.03.B, of Article 08, UDC)
- (3) Staff recommends utilizing a different tree than bald cypress. Staff would suggest utilizing a different shrub than winter boxwood. The Unified Development Code (UDC) does not consider this a screening shrub. Contact Travis Sales for suggestions.
- (4) Please delineate and label the landscape buffers. The John King Boulevard landscape buffer is 25-feet, and the Park Hills Boulevard landscape buffer is 10-feet. (Subsection 05.01, of Article 08, UDC)
- (5) Please delineate the required berms within the landscape buffers. The berm along John King Boulevard is required to be a minimum of 30-inches in height. If the retaining wall affects this, then this would be a variance. (Subsection 06.02, of Article 05, UDC)
- (6) Identify visibility triangles on all lots for all driveway intersections and public streets. (Subsection 01.08, of Article 05, UDC)
- (7) The landscape buffer along John King Boulevard required ten (10) accent trees. In this case, there are six (6). Please correct this. (Subsection 06.02, of Article 05, UDC)
- (8) Detention ponds are required to have one (1) canopy tree per 750 SF of detention area, and one (1) accent tree per 1,500 SF of detention area. In this case, provide an estimated detention area and the required landscaping. (Subsection 05.03.D, of Article 08, UDC)

M.8 Treescap Plan

- (1) Please clarify that no trees that require mitigation are being removed. This includes Eastern Red Cedar trees over 8-feet in height. (Article 09, UDC)

M.9 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please take the light levels to the south property line to ensure conformance with the 0.2 FC requirement at the property line. (Article 07, UDC)
- (3) Please note that up lighting is not permitted. All light fixtures must be oriented down and be shielded. (Subsection 03.03, of Article 07, UDC)

M.10 Building Elevations

- (1) The material percentage tables indicate wood; however, the material sample board indicates Nichiha. Nichiha is not an approved material and would require approval as a variance. In addition, Nichiha is proposed within the first four (4) feet of the building, this is an additional variance. (Subsection 04.01, of Article 05, UDC)
- (2) Please provide a note that the back side of the parapet must be finished in the same material as the external facing façade. In addition, all parapet systems must be enclosed. In this case, it appears that there is no parapet on the back of the building. (Subsection 06.02, of Article 05, UDC)
- (3) Please crosshatch the RTUs on the elevations. The RTUs must be fully screened by the parapet. Please pay attention to this due the building being lower than the road. (Subsection 01.05.C, of Article 05, UDC)
- (4) The proposed building does not meet the four (4) sided architecture requirements. This requires the same “materials, detailing, articulation and features” on each façade. In this case the primary articulation requirements must be met on each side, and the same architectural detail and features must be provided on each side. (Subsection 06.02, of Article 05, UDC)
- (5) The proposed building does not meet the primary articulation standards on each side of the building. Please review the articulation diagram within the General Commercial District Standards within the Unified Development Code (UDC). (Subsection 06.02, of Article 05, UDC)

M.11 At this time, based on the materials submitted, staff has identified the following Exception(s)/Variance(s) for this project:

- (1) Accessory Structures. The proposed canopies are considered accessory structures, which do not meet any of the Commercial (C) District standards. (Subsection 01.05.C, of Article 05, UDC)
- (2) Residential Adjacency. Leaving the existing tree line in place to serve as the residential adjacency screening will require approval from the Planning and Zoning Commission. (Subsection 01.06, of Article 05, UDC)
- (3) Artificial Turf. Artificial turf must be approved by the Planning and Zoning Commission. (Section 04, of Article 08, UDC)
- (4) Landscape Buffer. The landscape buffer requires a berm. If the retaining wall prevents you from meeting this requirement, then the Planning and Zoning Commission must approve it. (Subsection 06.02, of Article 05, UDC)
- (5) Materials. Nichiha is not an approved building material. (Subsection 06.02, of Article 05, UDC)
- (6) Cementitious Materials. Cementitious materials are not permitted within the first four (4) of a building façade. (Subsection 06.02, of Article 05, UDC)
- (7) Articulation. The proposed building does not meet the primary articulation requirements outlined within the General Commercial District Standards. (Subsection 04.01, of Article 05, UDC)
- (8) Four (4) Sided Architecture. The proposed building does not provide the same “materials, detailing, articulation and features” on each façade. (Subsection 04.01, of Article 05, UDC)

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on December 3, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on November 26, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on December 10, 2024.

I.15 All meetings will be held in person and in the City’s Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a

representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/19/2024	Approved w/ Comments

- 11/19/2024: 1. Add 1-16" valve
2. 16" water line must have 10' of water easement on both sides of main.
3. Add 1-16" valve
4. Add 1-16" valve
5. Show and label floodplain with cross-sections elevations
6. Public sanitary sewer must be within and centered in a minimum 20' sanitary sewer easement. No structures or fences within easement. Easement must be out of detention pond. Width of easement is dependent on depth of sewer main.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- The site will need to be platted.
- All utilities must be underground.
- Access to this site will not be available until Park Hills infrastructure has been installed, inspected, and approved by the City.
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Detention is required. No vertical walls allowed in detention easement. Max side slope of 4:1 with a minimum bottom slope of 1%.
- No public water or sanitary sewer can be in detention easement.
- Detention ponds must be irrigated
- Existing flow patterns must be maintained. The site must drain to the existing floodplain behind the site.
- Must show erosion hazard setback in easement. No structures including paving allowed in erosion hazard setback.
- No vertical walls allowed in the existing floodplain or easements.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for the existing floodplain with labeled cross-sections.
- FFE for all buildings must be called out when adjacent to a floodplain. Minimum 2' above 100-year WSEL.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- Park Hills development is installing sanitary sewer. Sanitary sewer must be designed and installed by this development to cross the creek.

- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Will need to extended 16" water line along John King within an easement across the property.
- Required to extend utilities (water, sewer) across the site to provide access to the future development to the south.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Need to install 8" public sewer to the southern property line.

Roadway Paving Items:

- Must meet City and TxDOT driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Install 10' trail along John King and 5' sidewalk along Street F/Park Hill Blvd

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape berms may not be on top of City utilities.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	11/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/18/2024	Approved w/ Comments

11/18/2024: Assigned address will be 100 S. JOHN KING BLVD, ROCKWALL, TX 75087

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	11/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/19/2024	Approved w/ Comments

- 11/19/2024: 1. Landscape plants are good varieties and will do well
 2. Provide tree mitigation plans ass needed
 3. I assume there will be sod installed: New varieties of Bermudagrass sod that are more drought, cold, wear and shade tolerant such as Tif Tuf and Tahoma 31.
 4. Head light glare evergreen shrub row needed along 66 and John King along parking spaces. 24" tall evergreen shrubs planted 36" on center in dedicated bed.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
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- Landscape berms may not be on top of City utilities.

(HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

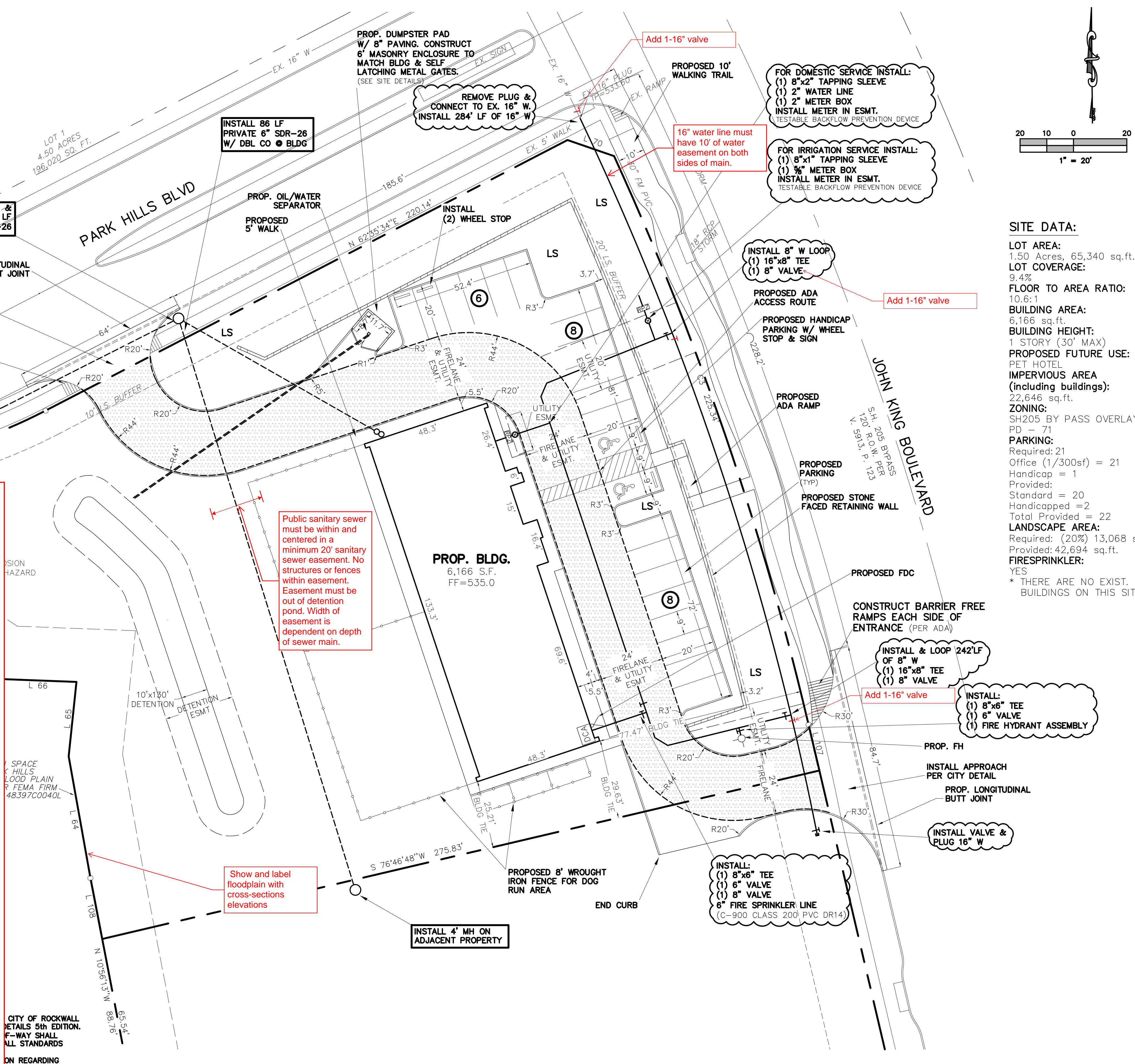
COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.

4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.

5) NO SAND UNDER PAVING.

GENERAL NOTES

- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
- Fire lanes shall be designed and constructed per city standards.
- Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
- Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance
- All signage contingent upon Building Inspection Department.
- Approval of the site plan is not final until all engineering plans are approved.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
- Please contact the Building Inspection Department to determine the type of construction and occupancy group.
- All electrical transmission, distribution and service lines must be underground.



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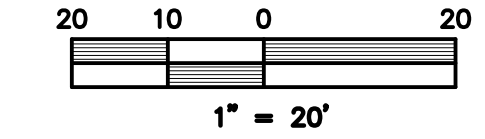
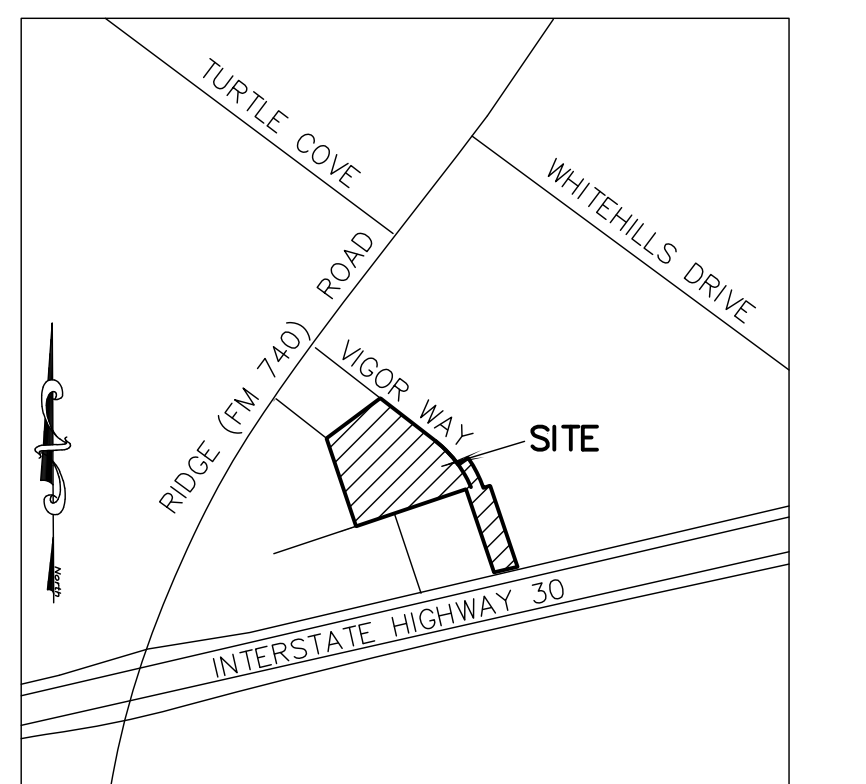
SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



SITE DATA:

LOT AREA: 1.50 Acres, 65,340 sq.ft.
LOT COVERAGE: 9.4%
FLOOR TO AREA RATIO: 10.6:1
BUILDING AREA: 6,166 sq.ft.
BUILDING HEIGHT: 1 STORY (30' MAX)
PROPOSED FUTURE USE: PET HOTEL
IMPERVIOUS AREA (including buildings): 22,646 sq.ft.
ZONING: SH205 BY PASS OVERLAY PD, 71
PARKING: Required: 21
Office (1/300sf) = 21
Handicap = 1
Provided: Standard = 20
Handicapped = 2
Total Provided = 22
LANDSCAPE AREA: Required: (20%) 13,068 sq.ft.
Provided: 42,694 sq.ft.
FIRESPRINKLER: YES
* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- ⊙ FH = EXISTING FIRE HYDRANT
- M WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊙ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊙ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- ⊙ = PROPOSED FIRELANE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER, THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

PROJECT #: SP2024-

SITE PLAN

RIVER'S DOG RETREAT, LLC.

LOTS 1, 2, & 3 BLOCK A, 1.50 ACRES
BOARDWALK DEVELOPMENT ADDITION
City of Rockwall, Rockwall County, Texas

owner
CONTACT
ADDRESS
CITY, TX ZIP

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2024-7 REG. NO.: F-2567

date: 11/14/24 scale: 1"=20' sheet: C101



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

- ¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
- ²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS SWC John King Blvd. and Park Hills Blvd.

SUBDIVISION Boardwalk Development Addition

LOT 2 BLOCK A

GENERAL LOCATION SWC of John King Blvd. and Park Hills Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD - 71

CURRENT USE N/A

PROPOSED ZONING PD - 71

PROPOSED USE River's Dog Retreat - Dog Boarding

ACREAGE 1.5

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Property Corp.

APPLICANT Carroll Architects, Inc.

CONTACT PERSON Bill Bricker

CONTACT PERSON Jeff Carroll

ADDRESS 505 2235 Ridge Rd Suite 200

ADDRESS 750 E. Interstate 30 Suite 110

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 214-801-6157

PHONE 214-632-1762

E-MAIL Bill@colventures.com

E-MAIL jc@carrollarch.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Charles W Bricker [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

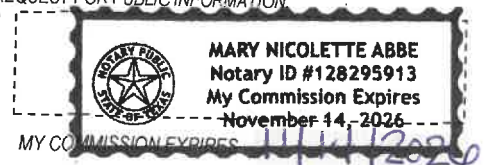
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF November, 2024

OWNER'S SIGNATURE CW Bricker

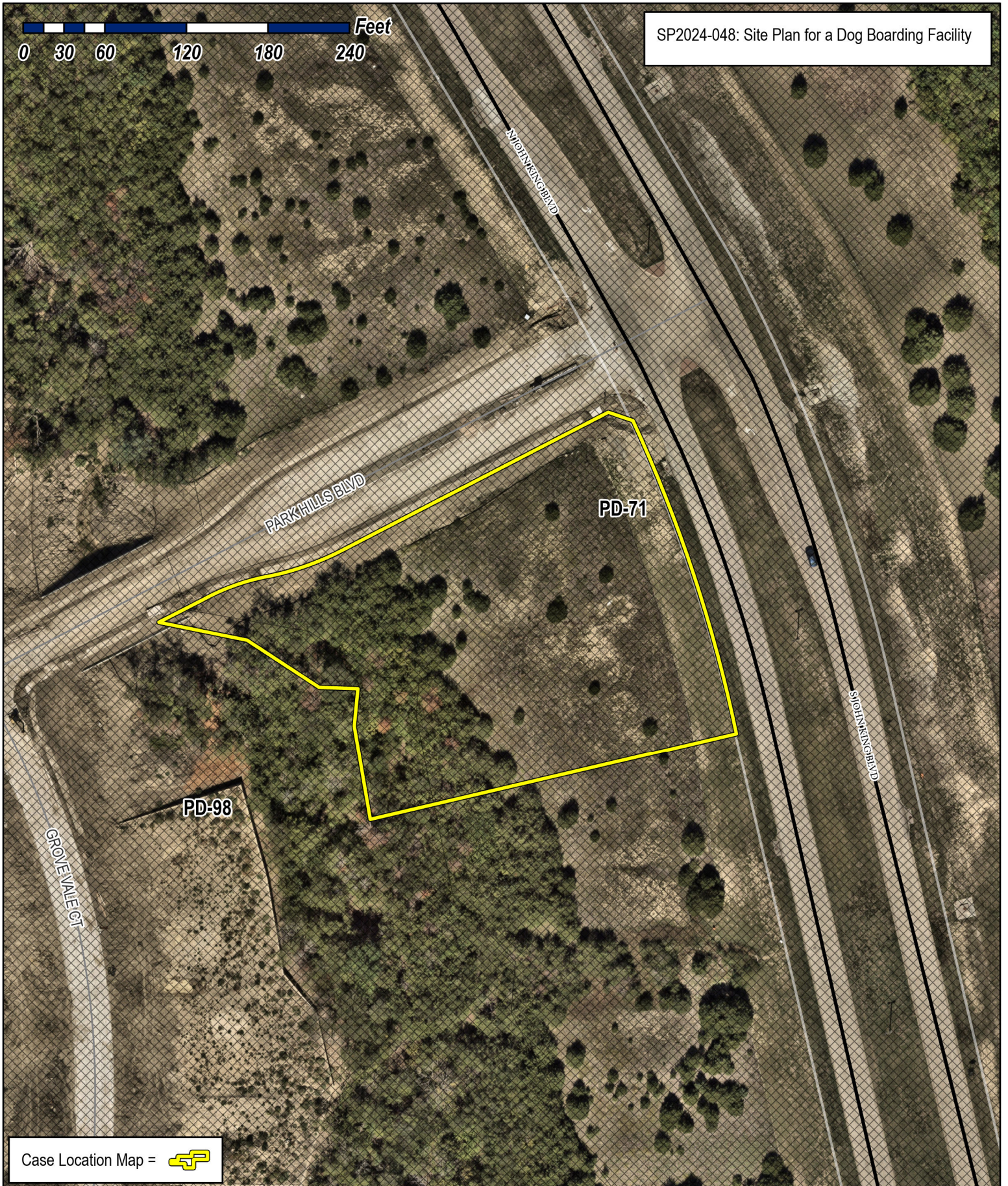
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary Nicolette Abbe





SP2024-048: Site Plan for a Dog Boarding Facility



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

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**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

NOTES:
1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
5) PRIVATE TRASH SERVICE

PAVING NOTES:
1) APPROACHES AND FIRELANE TO BE 6" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 PSI, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 PSI, 5.5 SACK MIX IN R.O.W.
5) NO SAND UNDER PAVING.

GENERAL NOTES
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

SITE PLAN SIGNATURE BLOCK
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.
WITNESS OUR HANDS, this _____ day of _____, _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SITE DATA:
LOT AREA: 1.50 Acres, 65,340 sq.ft.
LOT COVERAGE: 9.4%
FLOOR TO AREA RATIO: 10.6:1
BUILDING AREA: 6,166 sq.ft.
BUILDING HEIGHT: 1 STORY (30' MAX)
PROPOSED FUTURE USE: PET HOTEL
IMPERVIOUS AREA (including buildings): 22,646 sq.ft.
ZONING: SH205 BY PASS OVERLAY PD - 71
PARKING: Required: 21
Office (1/300sf) = 21
Handicap = 1
Provided: Standard = 20
Handicapped = 2
Total Provided = 22
LANDSCAPE AREA: Required: (20%) 13,068 sq.ft.
Provided: 42,694 sq.ft.
FIRESPRINKLER: YES
* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

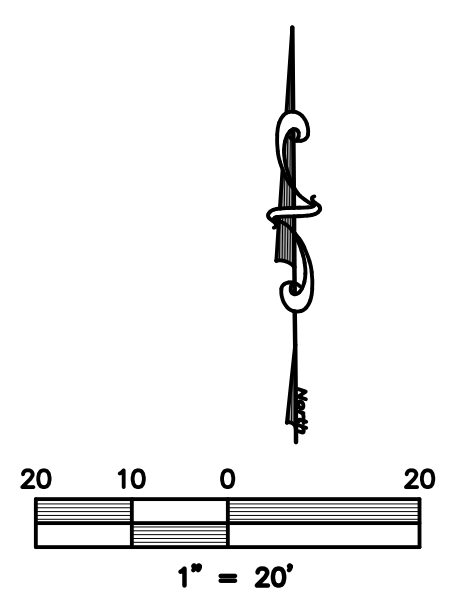
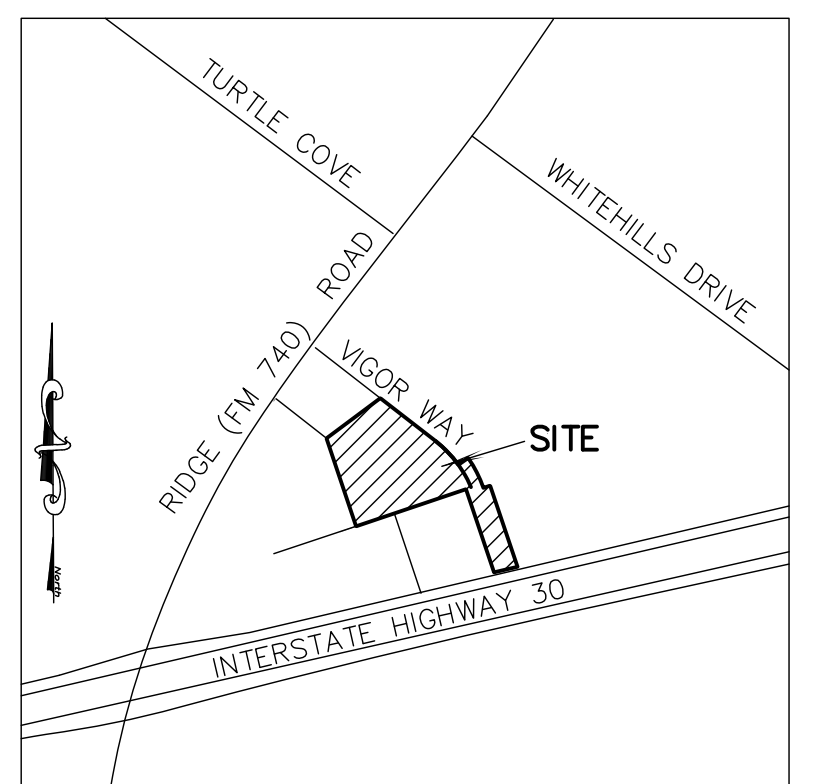
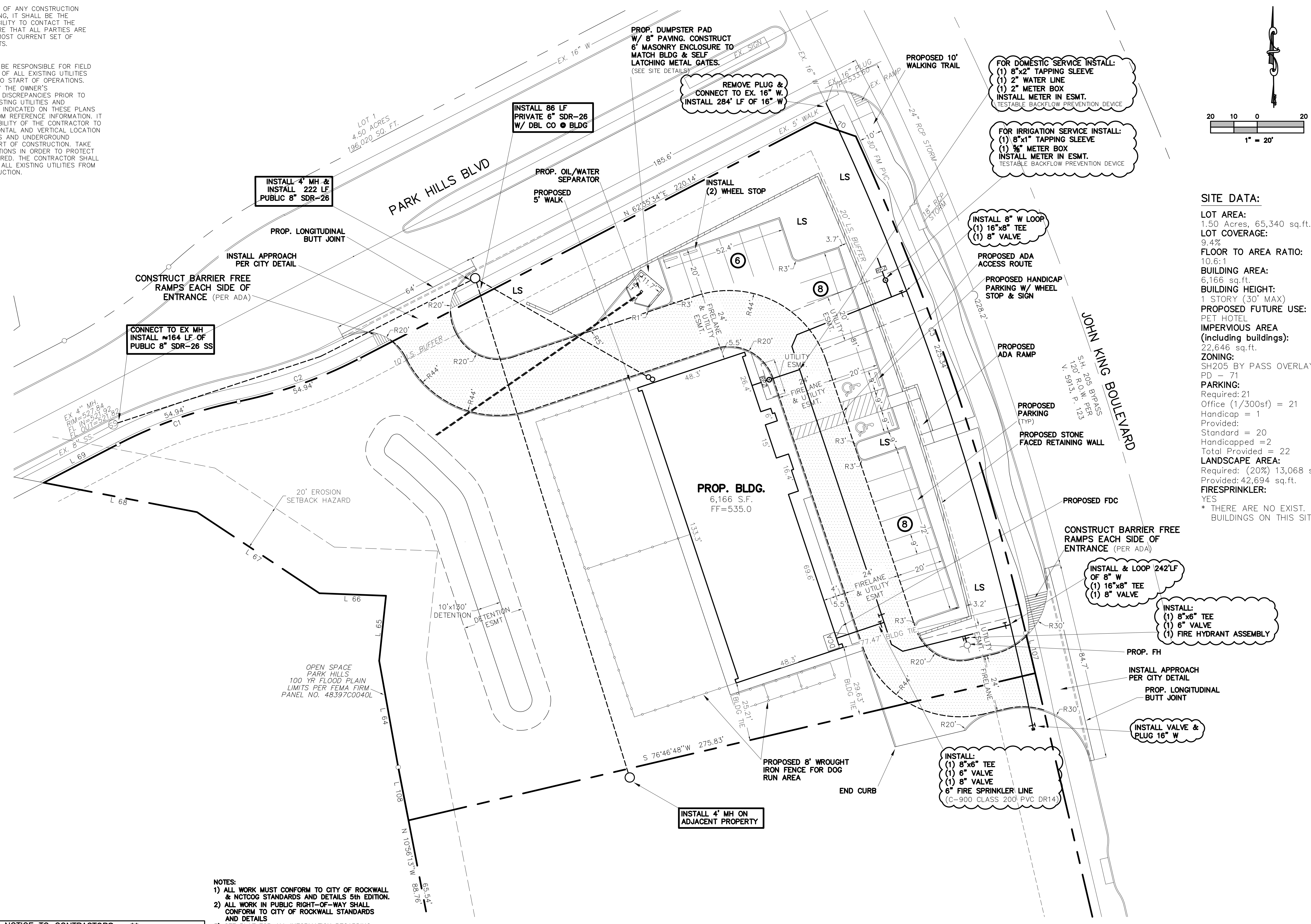
VICINITY MAP
NOT TO SCALE

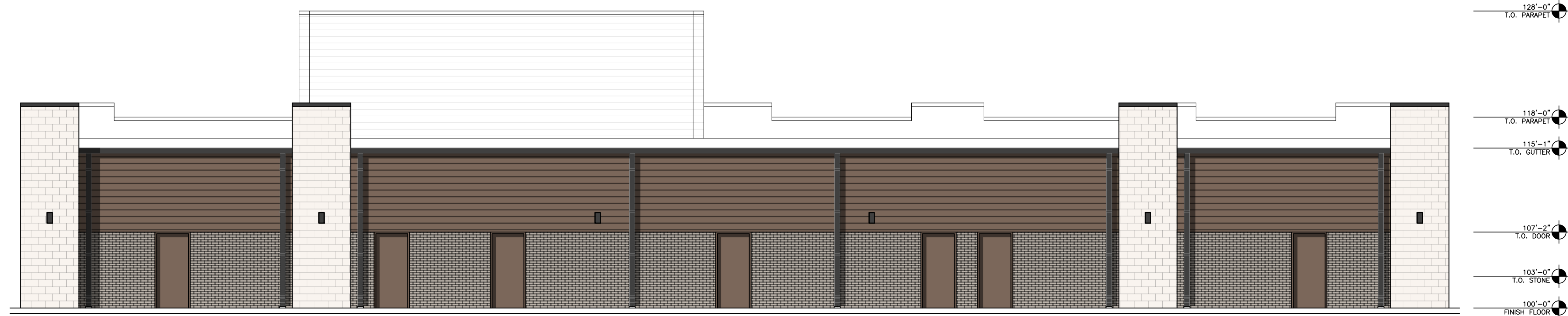
LEGEND
--- = PROPERTY LINE
--- EX. SS --- = EXISTING SANITARY SEWER LINE
--- EX. W --- = EXISTING WATER LINE
FH = EXISTING FIRE HYDRANT
WM = EXISTING WATER METER
PP = EXISTING POWER POLE
LP = EXISTING LIGHT POLE
SS = EXISTING SS MANHOLE
TB = EX. TELEPHONE BOX
EXIST. or EX. = EXISTING
C = CENTERLINE
PROP. = PROPOSED
LS = LANDSCAPE
RCP = REINFORCED CONCRETE PIPE
min = MINIMUM
max = MAXIMUM
B-B = BACK OF CURB TO BACK OF CURB
--- = PROPOSED FIRELANE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

PROJECT #: SP2024-
SITE PLAN
RIVER'S DOG RETREAT, LLC.
LOTS 1, 2, & 3 BLOCK A, 1.50 ACRES
BOARDWALK DEVELOPMENT ADDITION
City of Rockwall, Rockwall County, Texas
owner
CONTACT ADDRESS
CITY, TX ZIP
prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761
© 2024 Monk Consulting Engineers, Inc., All Rights Reserved
PROJECT NO.: 2024-7 REG. NO.: F-2567
date: 11/14/24 scale: 1"=20' sheet: C101





STONE	-	418 S.F.	-	21%
BRICK	-	640 S.F.	-	33%
WOOD	-	892 S.F.	-	46%
TOTAL	-	1,950 S.F.	-	100%

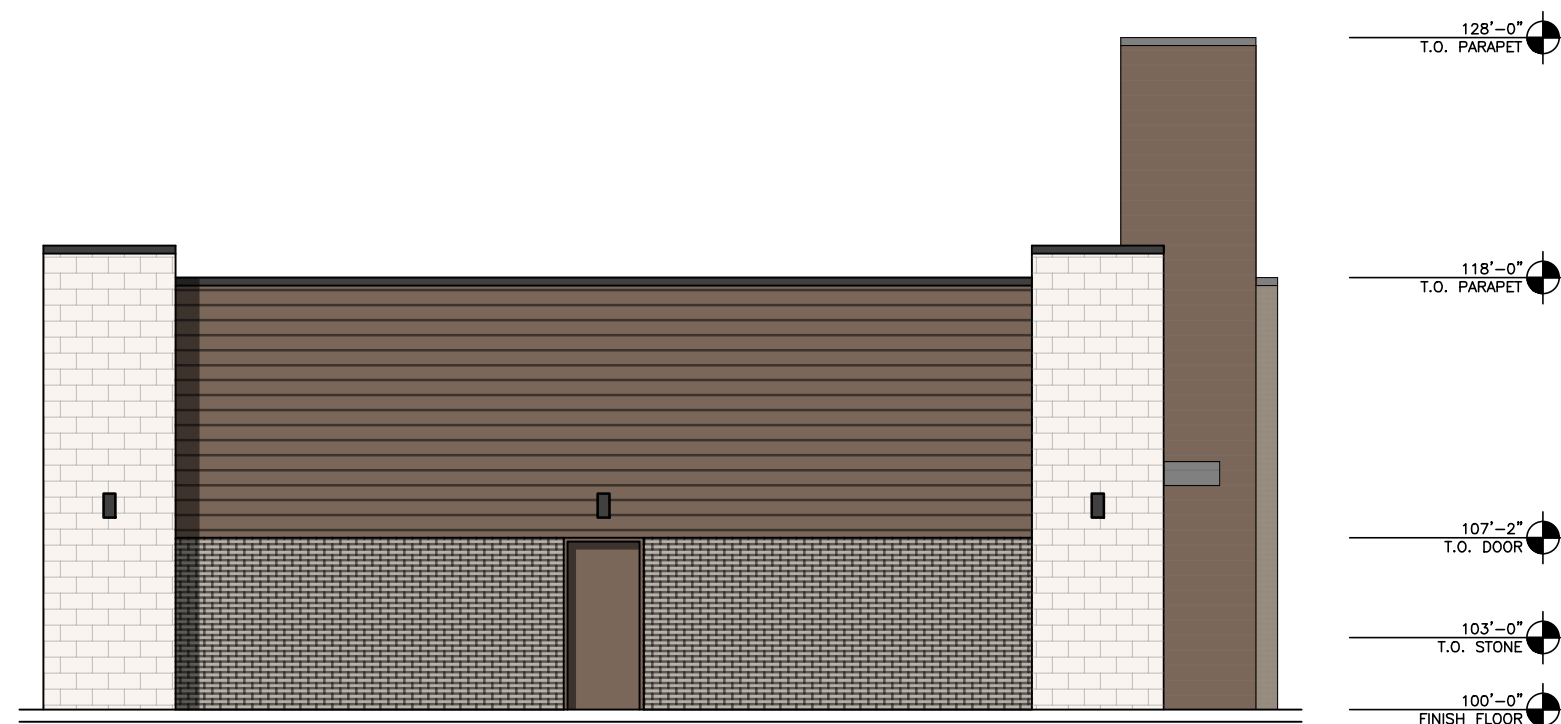
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
(A)	BRICK VENEER: ACME, MUSHROOM BROWN COLOR
(B)	STONE VENEER: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH MINIMUM SIZE 6" TALL, MAXIMUM SIZE 12" TALL COLOR - CREAM
(C)	STONE CAP: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH SIZE 4" TALL, COLOR - CREAM
(D)	WOOD MASONRY VENEER: NICHBOARD - CEDAR, COLOR - SEMIGLOSS DARK BROWN
(E)	PREFINISHED METAL COPING COLOR - BLACK
(F)	WINDOW FRAMES ALUMINUM, COLOR - BLACK
(G)	GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 10% - BLUE
(H)	STOREFRONT ENTRY SLIDING DOOR SYSTEM: ALUM. COLOR - BLACK
(J)	EXTERIOR HOLLOW MTL. DOOR & FRAME: PAINTED, COLOR - DARK BROWN
(K)	AWNINGS: PREFINISHED STANDING SEAM MTL. AWNINGS PANELS COLOR - BLACK
(L)	GUTTER AND DOWNSPOUTS COLOR - BLACK

NOTE: PARAPETS WILL BE FINISHED ON BOTH SIDES

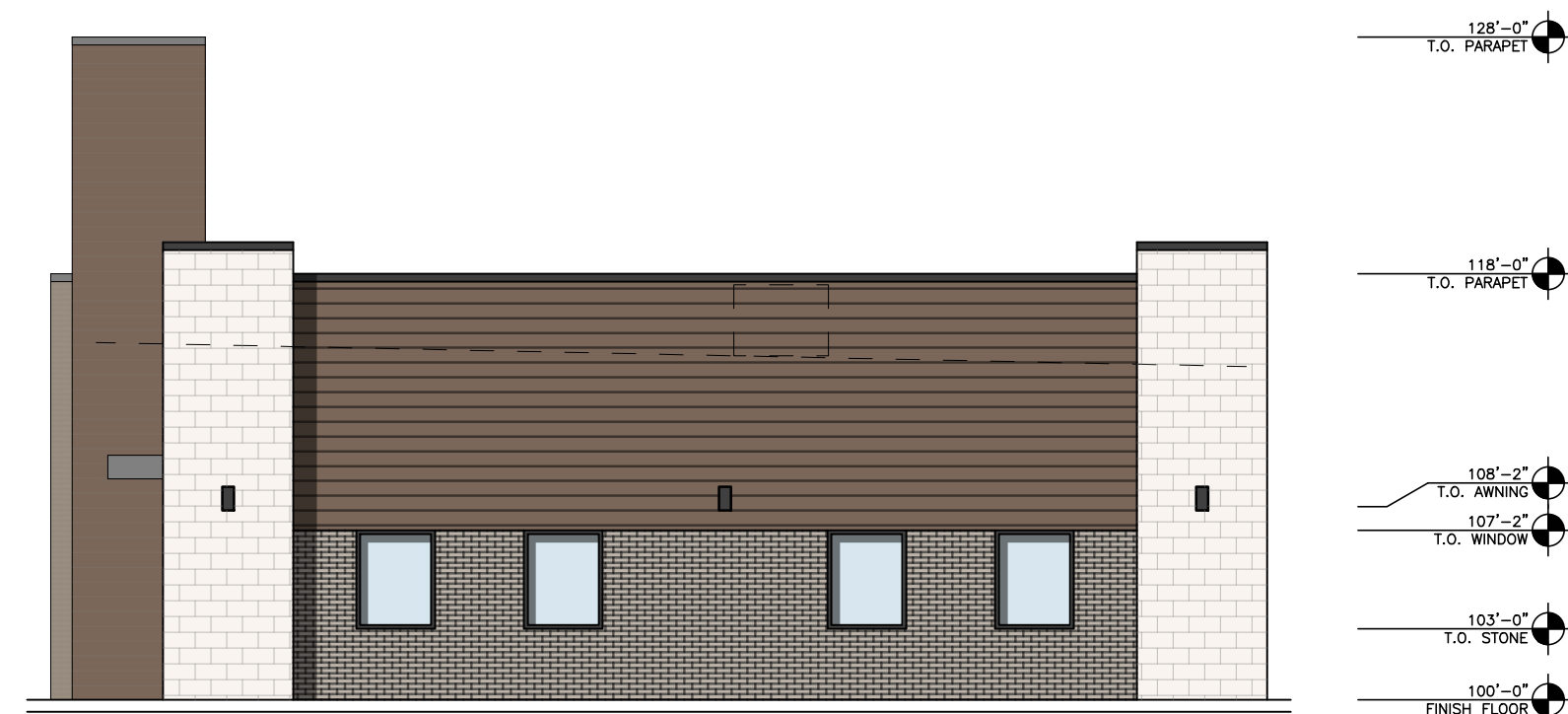
OWNER REVIEW: 11-05-2024	ISSUE:
SITE PLAN SUBMIT: 11-15-2024	

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STONE	-	209 S.F.	-	26%
BRICK	-	232 S.F.	-	28%
WOOD	-	375 S.F.	-	46%
TOTAL	-	815 S.F.	-	100%

3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



STONE	-	209 S.F.	-	27%
BRICK	-	200 S.F.	-	26%
WOOD	-	375 S.F.	-	47%
TOTAL	-	784 S.F.	-	100%

2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

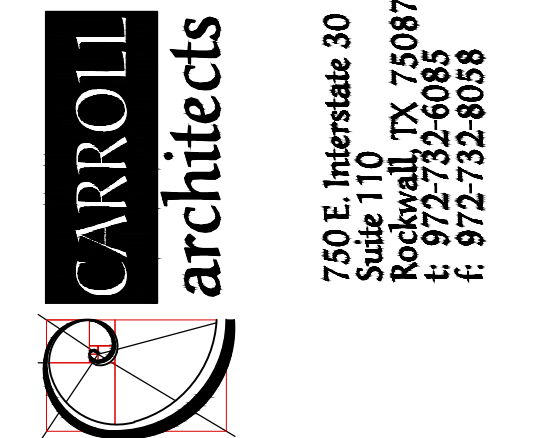


STONE	-	749 S.F.	-	33%
BRICK	-	426 S.F.	-	20%
WOOD	-	1,060 S.F.	-	47%
TOTAL	-	2,245 S.F.	-	100%

1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

CITY OF ROCKWALL CASE NUMBER: SP-2024-XXX	
RIVER'S DOG RETREAT	
LEGAL DESCRIPTION AND/OR ADDRESS: LOT 1, 2, & 3 BLOCK A, 1.50 ACRES BOARDWALK DEVELOPMENT ADDITION CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS	
OWNER	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jcarroll@carrollarch.com ATTN: Jeff Carroll	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.	
WITNESS OUR HANDS, this _____ day of _____.	
Planning & Zoning Commission, Chairman	
Director of Planning and Zoning	

NEW FACILITY FOR
RIVER'S DOG RETREAT, LLC
John King Blvd
Rockwall, Texas 75087

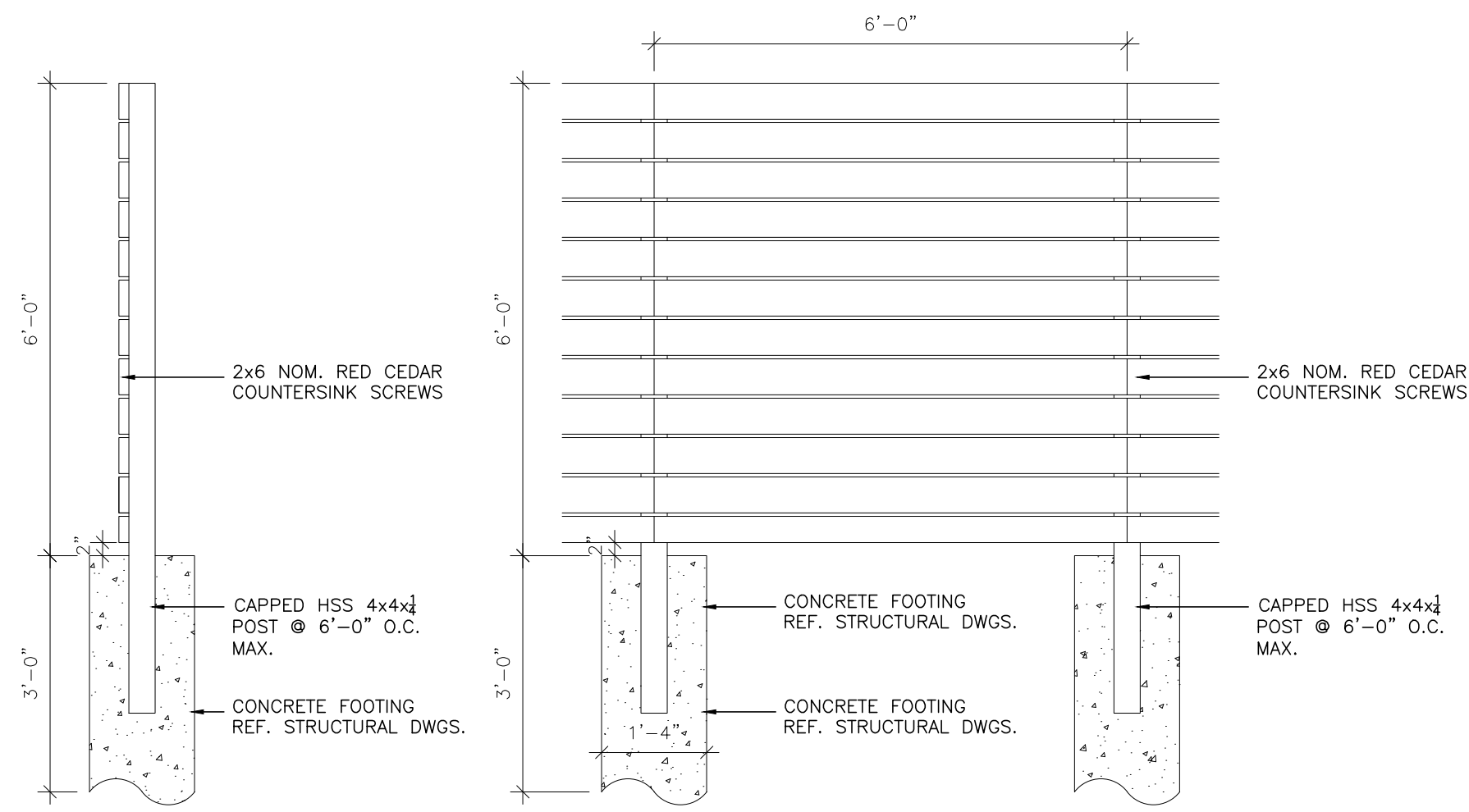


750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

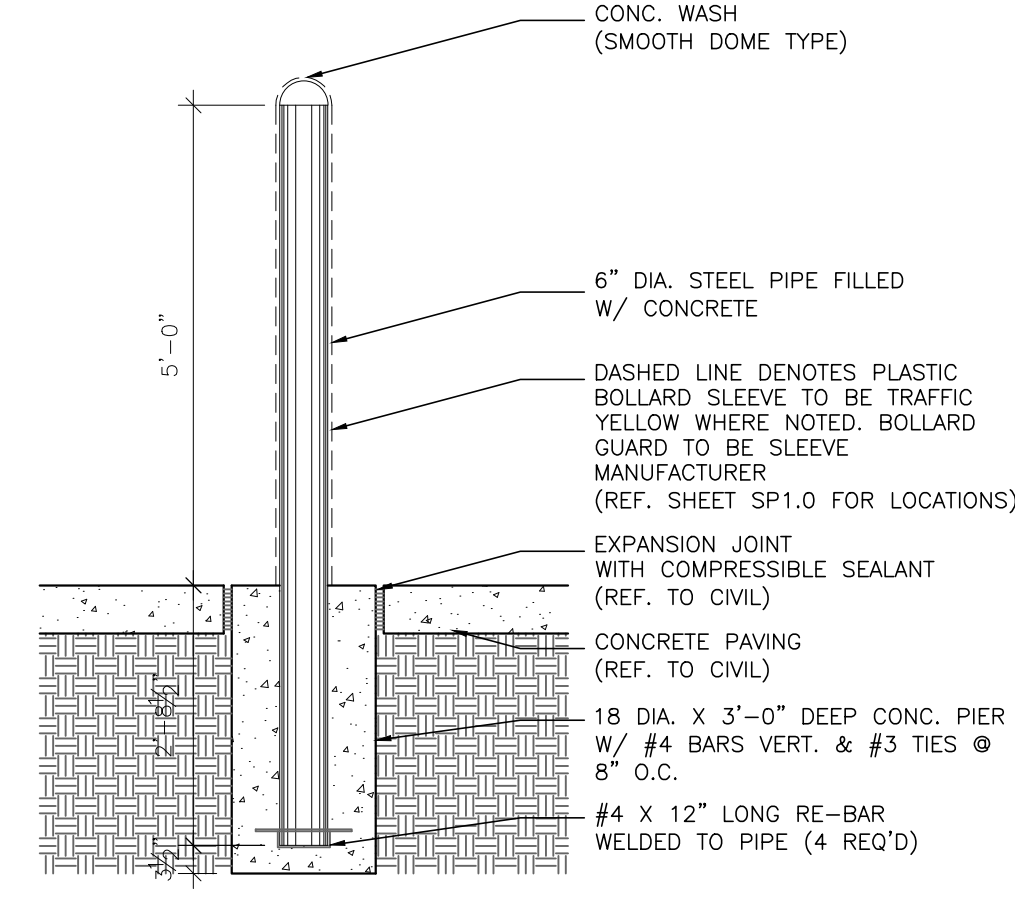
EXTERIOR ELEVATIONS

DATE: SEP 2024 SHEET NO:
PROJECT NO: 2024040
DRAWN BY: JZ
CHECKED BY:

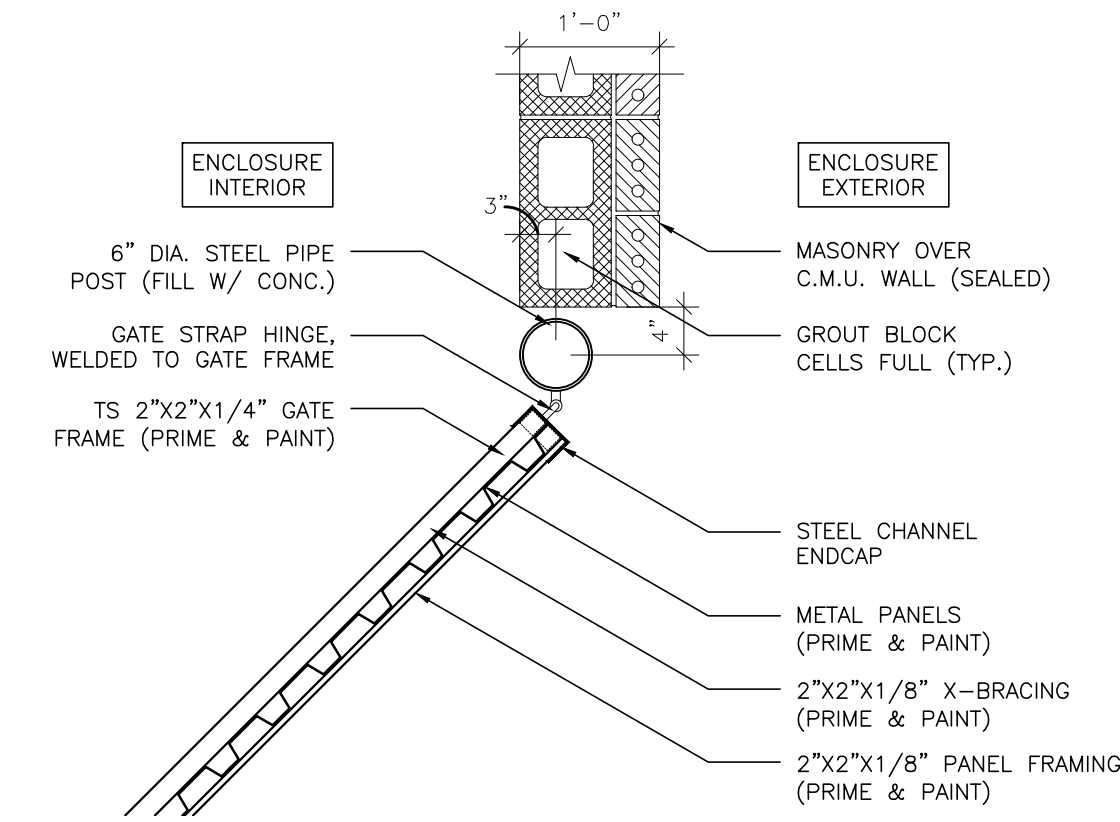
A501



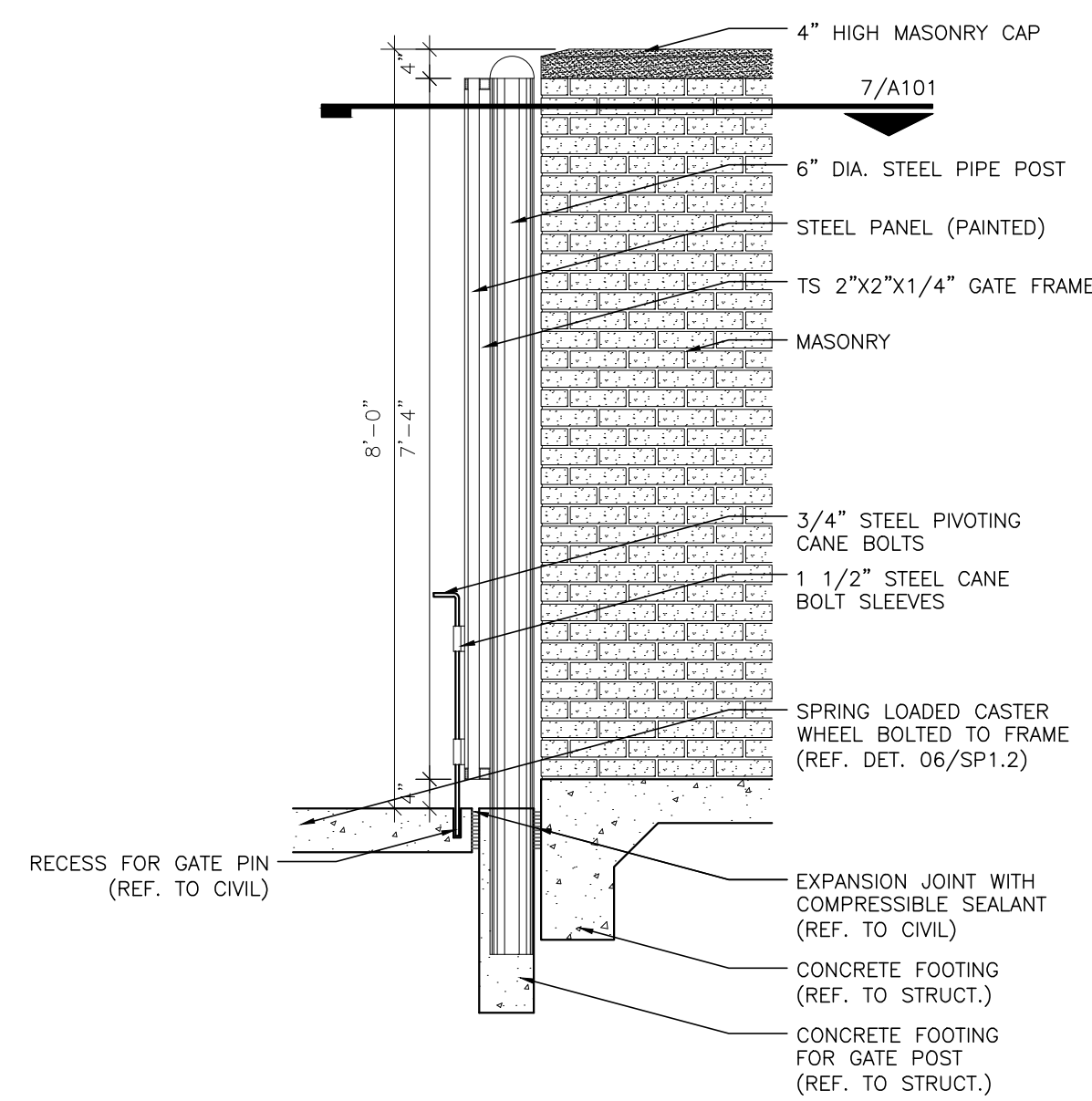
9 WOOD SCREEN FENCE
SCALE: 1/2" = 1'-0"



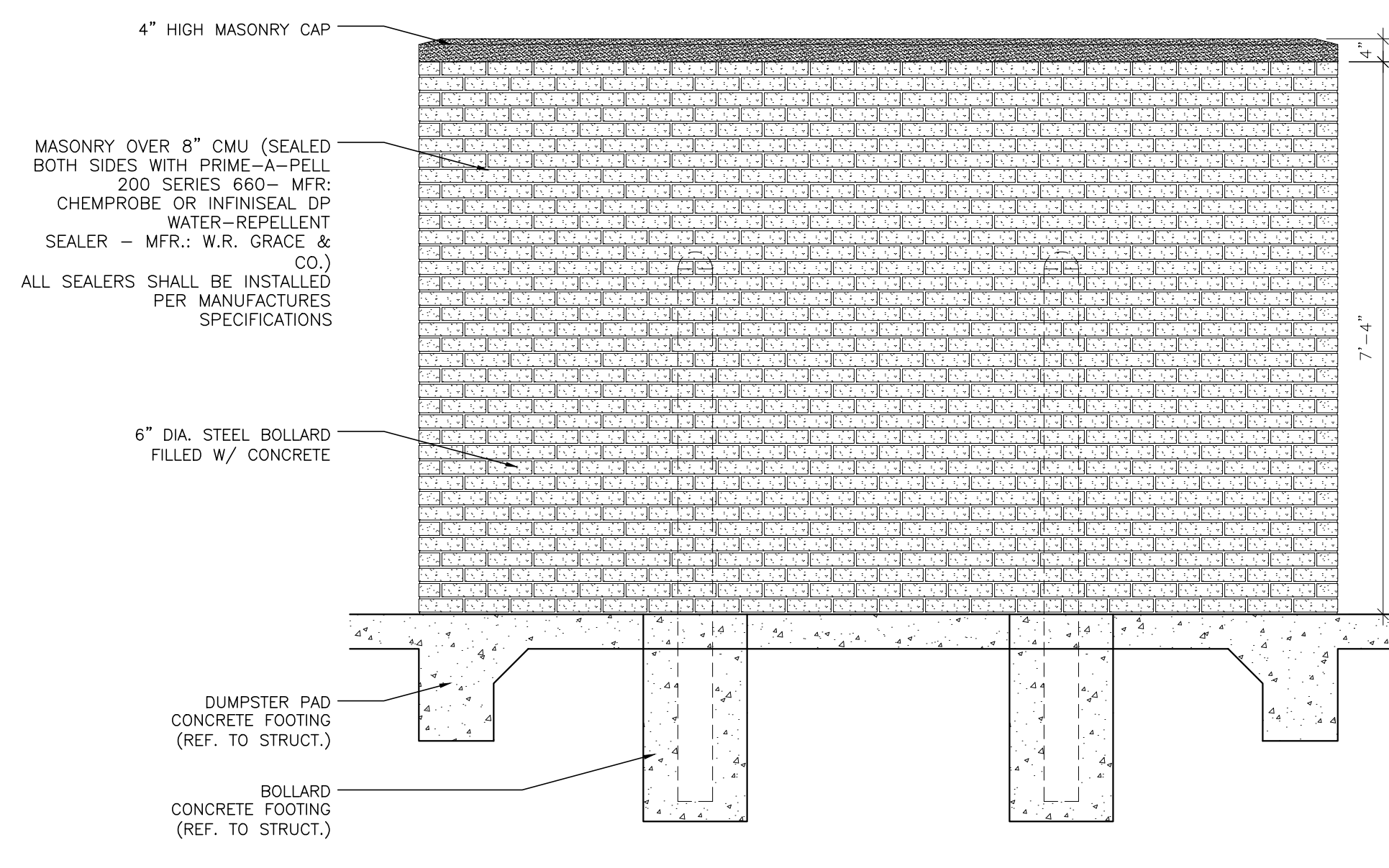
8 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



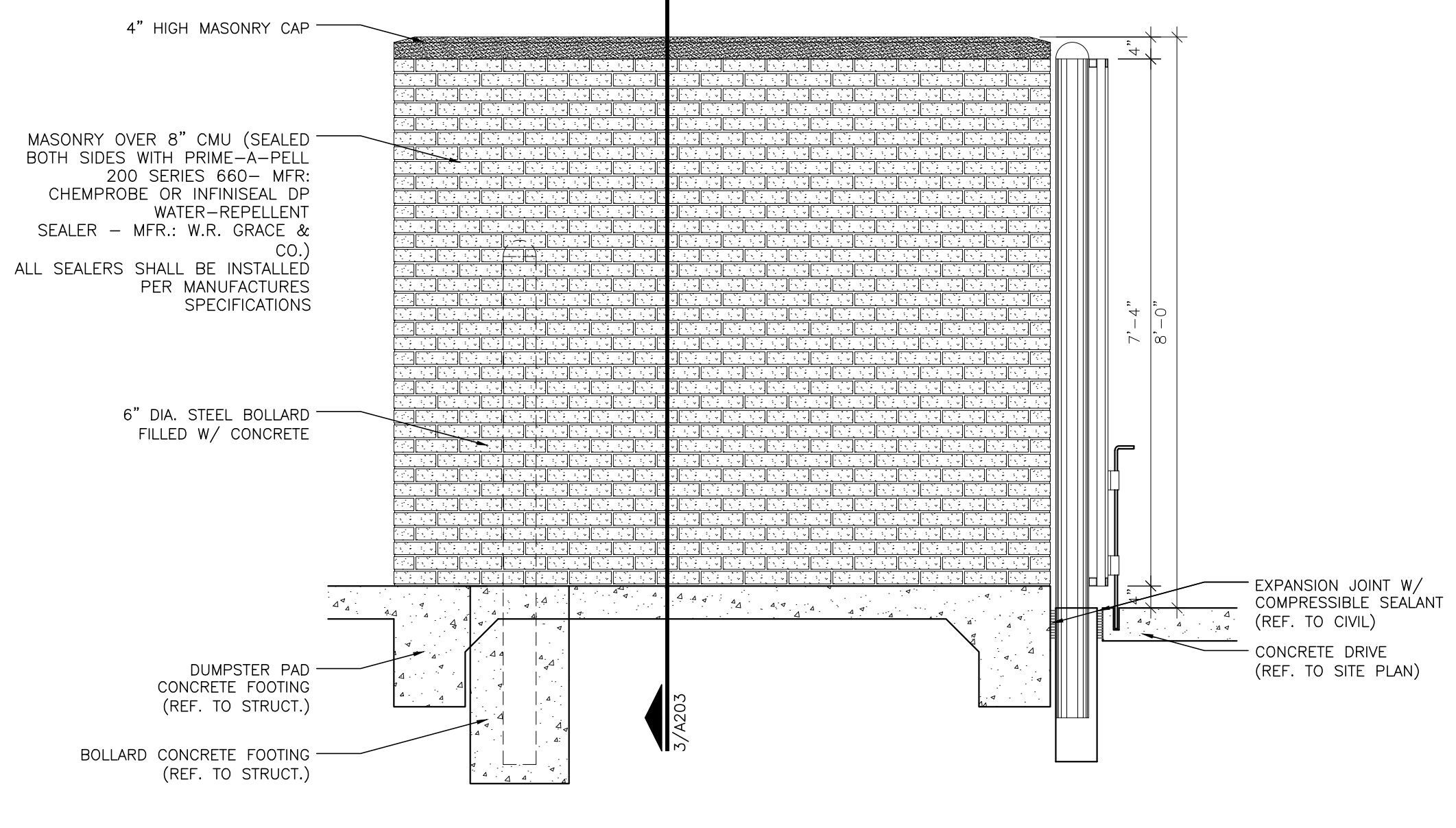
7 DUMPSTER ENCLOSURE GATE DETAIL
SCALE: 3/4" = 1'-0"



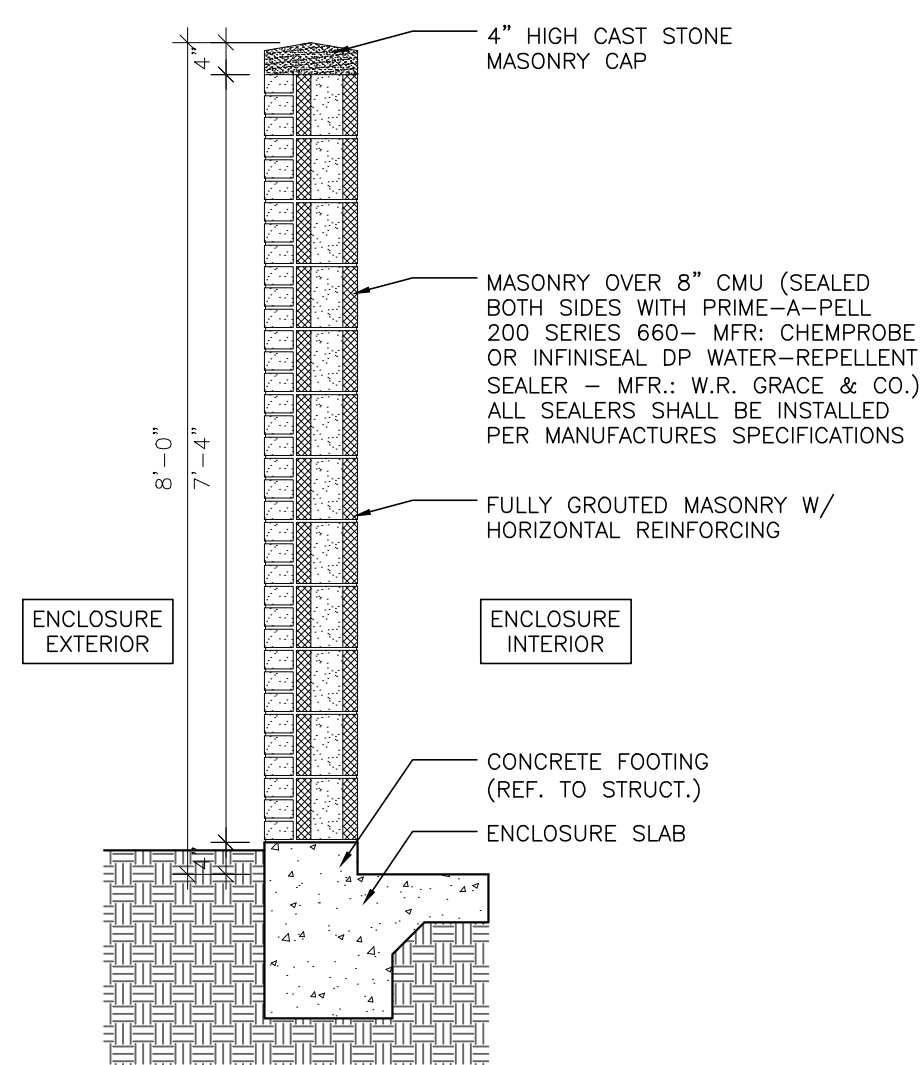
6 GATE SECTION @ DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"



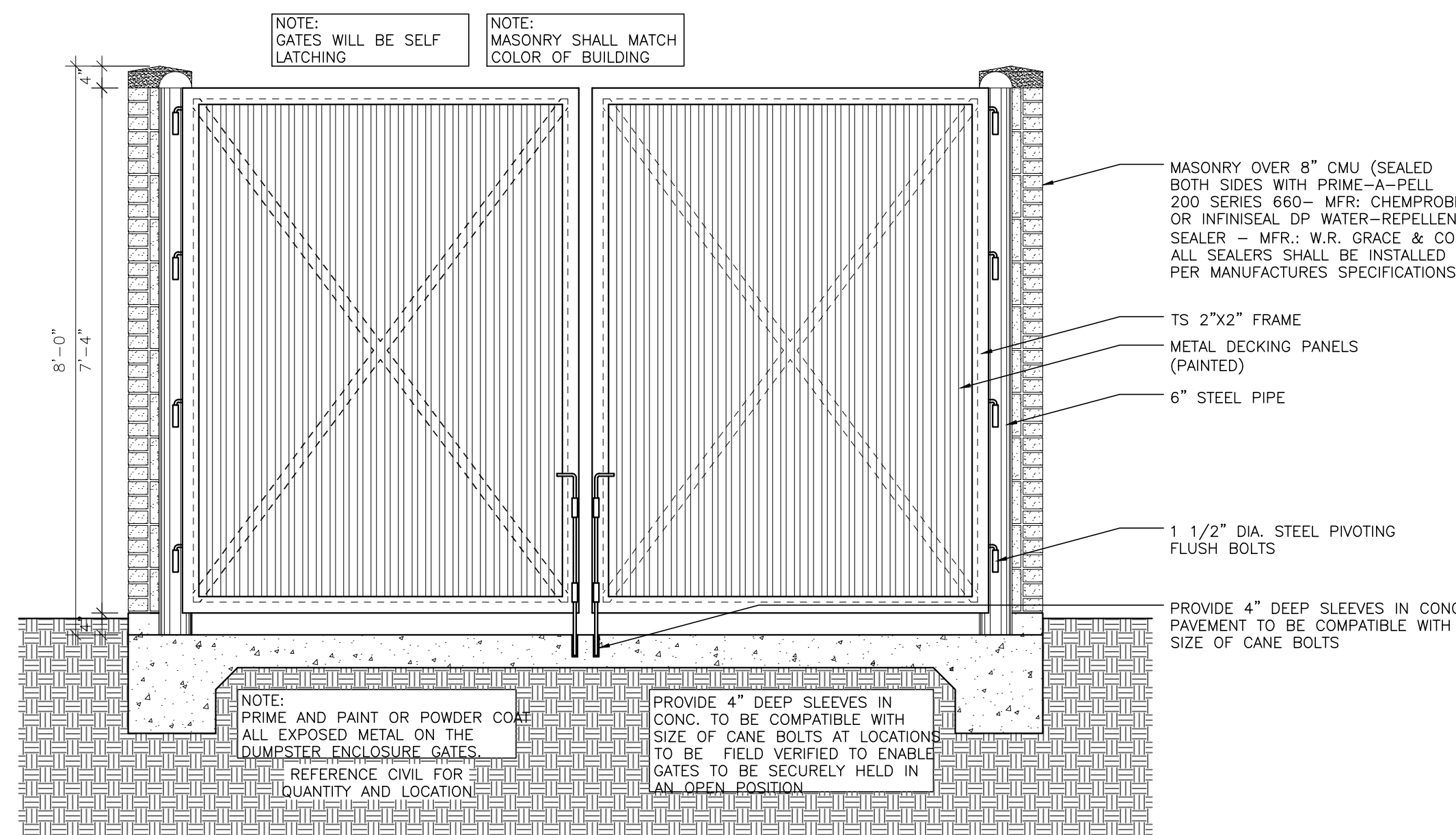
5 DUMPSTER ENCLOSURE REAR ELEVATION
SCALE: 1/2" = 1'-0"



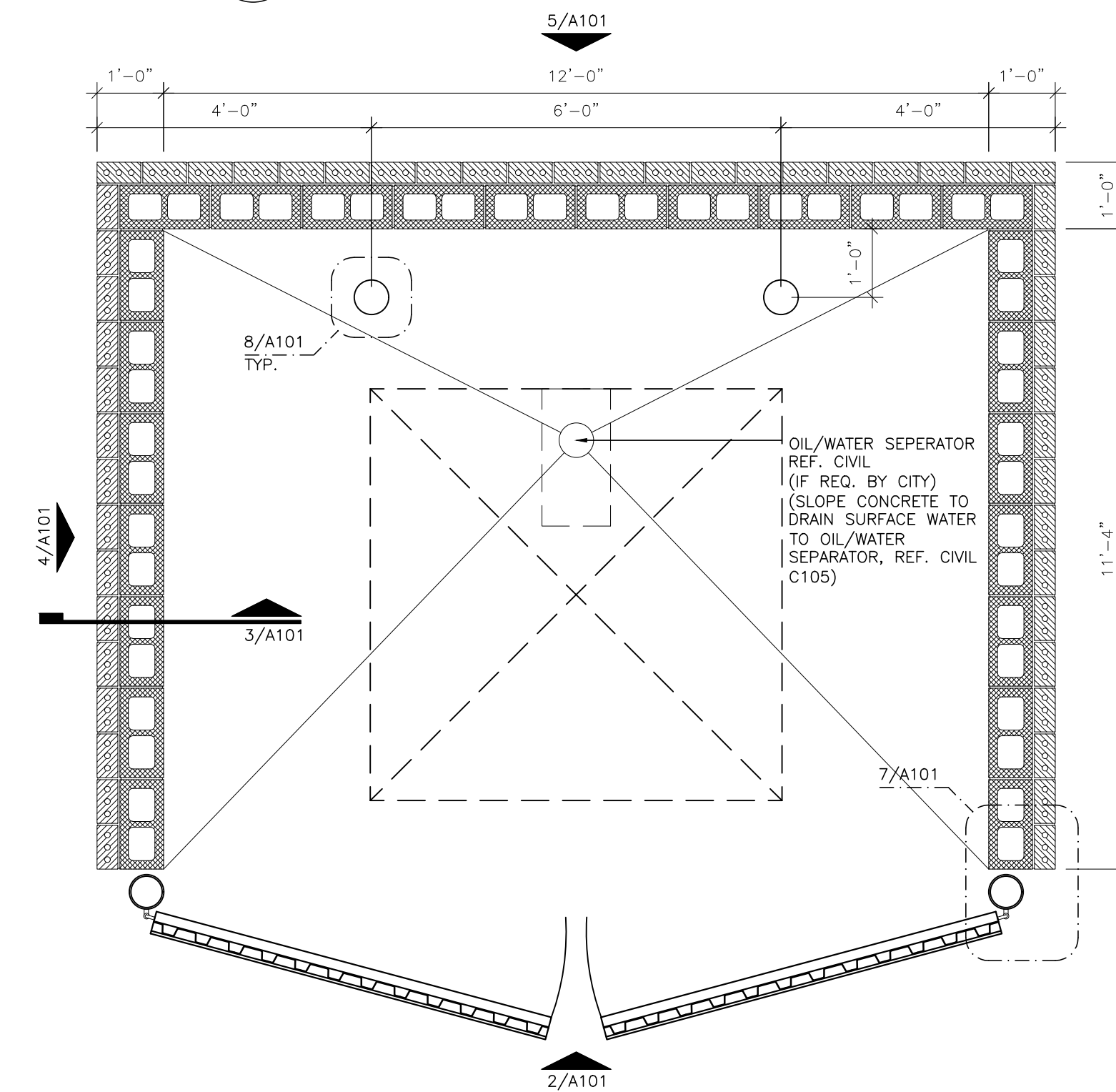
4 DUMPSTER ENCLOSURE SIDE ELEVATION
SCALE: 1/2" = 1'-0"



3 WALL SECTION @ DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"



2 DUMPSTER ENCLOSURE FRONT ELEVATION
SCALE: 1/2" = 1'-0"



1 DUMPSTER ENCLOSURE ENLARGED PLAN
SCALE: 1/2" = 1'-0"

ISSUE: OWNER REVIEW: 11-05-2024 SITE PLAN SUBMIT: 11-15-2024

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NEW FACILITY FOR
RIVER'S DOG RETREAT, LLC
John King Blvd
Rockwall, Texas 75087

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-735-6085
f: 972-735-8058

MASONRY DUMPSTER ENCLOSURE

DATE: SEP 2024 SHEET NO: A101
PROJECT NO: 2024040
DRAWN BY: KZB
CHECKED BY:



SITE DATA TABLE	
SITE AREA	1.50 ACRES (65,340 S.F.)
ZONING	SH205 BY PASS OVERLAY PD-71
PROPOSED USE	PET HOTEL
BUILDING AREA	6,166 S.F.
LOT COVERAGE (GROSS AREA)	9.4%
FLOOR TO AREA RATIO	10.6 : 1
BUILDING HEIGHT MAX.	30'-0"

LANDSCAPE TABULATION	
NET AREA	1.50 ACRES (65,340 S.F.)
REQUIRED LANDSCAPE AREA-- 20% OF 65,340 S.F.	13,068 S.F.
PROVIDED LANDSCAPE AREA-- 65% OF 65,340 S.F.	42,694 S.F.
IMPERVIOUS COVERAGE-- 33% OF 65,340 S.F.	22,646 S.F.

- NOTES:**
- Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.
 - No trees within 5' of public utilities less than 10'.
 - No trees within 10' of public utilities 10' or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (DETENTION POND)
	DESERT WILLOW
	WINTER BOXWOOD (SHRUB) 5 GALLON Ø INSTALLATION

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

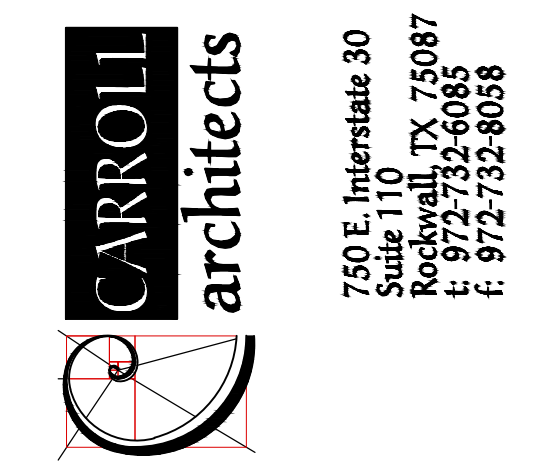
- GENERAL NOTES:**
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAY.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
 - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 - ALL PARKING SPACES ARE WITHIN 80' OF A TREE.

CITY OF ROCKWALL CASE NUMBER: SP-2024-XXX
RIVER'S DOG RETREAT
LEGAL DESCRIPTION AND OR ADDRESS: LOT 1, 2, & 3 BLOCK A, 1.50 ACRES BOARDWALK DEVELOPMENT ADDITION CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
OWNER
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll
SITE PLAN SIGNATURE BLOCK APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____. WITNESS OUR HANDS, this ____ day of ____. _____ Planning & Zoning Commission, Chairman Director of Planning and Zoning

ISSUE:	
OWNER REVIEW:	11-05-2024
SITE PLAN SUBMIT:	11-15-2024

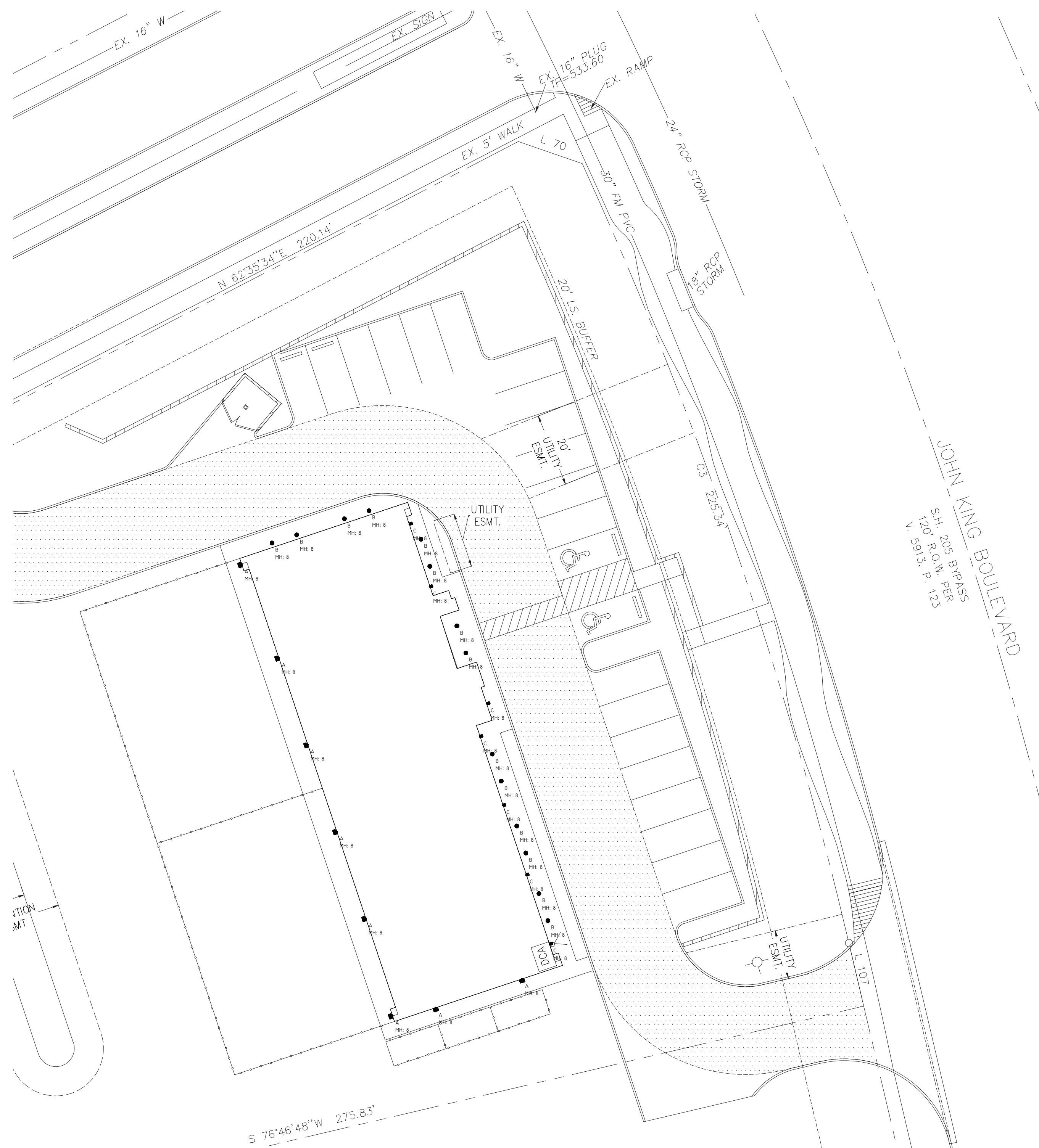
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NEW FACILITY FOR
RIVER'S DOG RETREAT, LLC
John King Blvd
Rockwall, Texas 75087

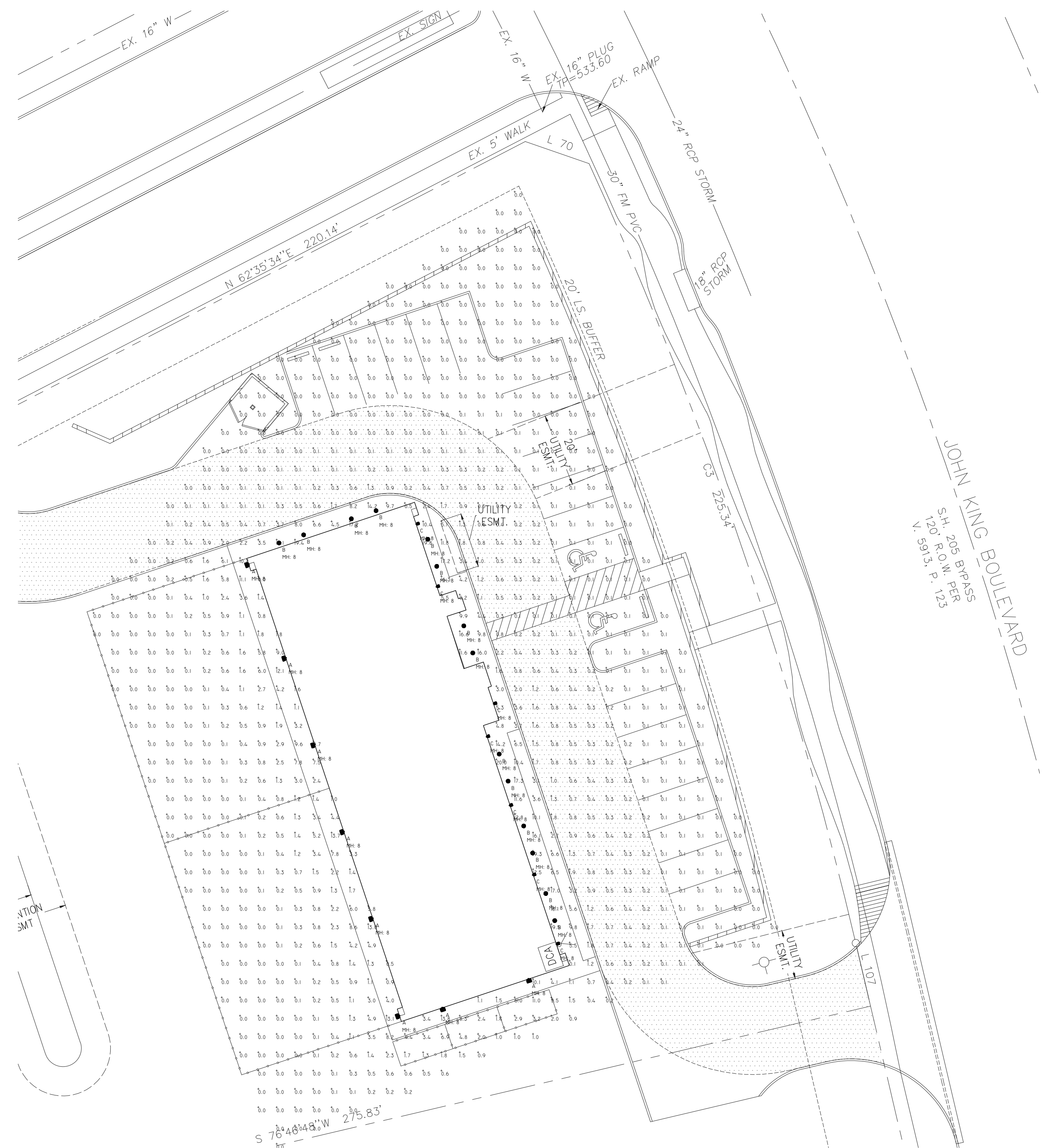


LANDSCAPE SITE PLAN

DATE: SEP 2024 SHEET NO:
PROJECT NO: 2024040
DRAWN BY: ZJ
CHECKED BY:



1 SITE ELECTRICAL PLAN
SCALE: 1" = 20'-0"



2 SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

CALCULATION SUMMARY								
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	CALC HT.
SITE	ILLUMINANCE	Fc	1.21	20.0	0.0	N.A.	N.A.	0

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION	MANUFACTURER	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS	TOTAL WATTS
	8	A	SINGLE	PIL_SHIELD_PLUS_L_840_070715	PERFORMANCE IN LIGHTING	0.900	1773	14.5	116
	14	B	SINGLE	HC410D010-HM40525840-4IMDC	COOPER LIGHTING SOLUTIONS - HALO COMMERCIAL (FORMERLY EATON)	0.900	1165	9.9	138.6
	7	C	SINGLE	WS-W15224-4000K	WAC LIGHTING	0.900	1486	24.6228	172.36

CITY OF ROCKWALL CASE NUMBER:
SP-2024-XXX

RIVER'S DOG RETREAT

LEGAL DESCRIPTION AND/OR ADDRESS:
LOT 1, 2, & 3 BLOCK A, 1.50 ACRES
BOARDWALK DEVELOPMENT ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER

APPLICANT
Carroll Architects, Inc.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jsc@carrollarch.com
ATTN: Jeff Carroll

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman
Director of Planning and Zoning

DATE: _____

PROJECT NO: 2024040

DRAWN BY: ZJ

CHECKED BY:

James F. Turner
Engineers, L.P.
Consulting Engineers
8340 Meadow Rd., Suite 1600
Dallas, Texas 75225
TEL: 214-750-2900 FAX: 214-750-2901
TX REGISTRATION # 35914

ISSUE:	OWNER REVIEW:	10-31-2024
	SITE PLAN SUBMIT:	11-15-2024

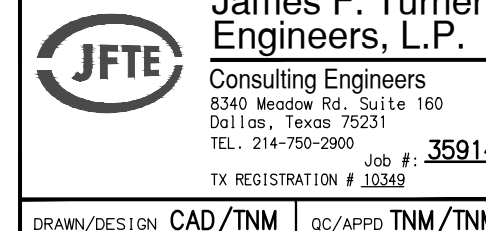
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NEW FACILITY FOR
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Rockwall, Texas 75087



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Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

SITE ELECTRICAL PLAN



E001

Project		Catalog #		Type	
Prepared by		Notes		Date	



HALO Commercial

HC4 | HM4 | 41/41PS

4-inch LED downlight and wall wash

Typical Applications

Office • Healthcare • Hospitality • Institutional • Mixed-Use/Retail

Interactive Menu

- Order Information [page 2](#)
- Product Specifications [page 4](#)
- Photometric Data [page 5](#)
- Energy & Performance Data [page 8](#)
- Connected Systems [page 10](#)
- Product Warranty

Product Certification



Product Features



Control Compatibility

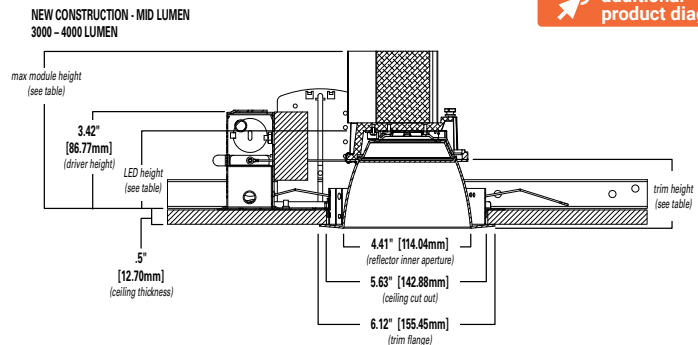
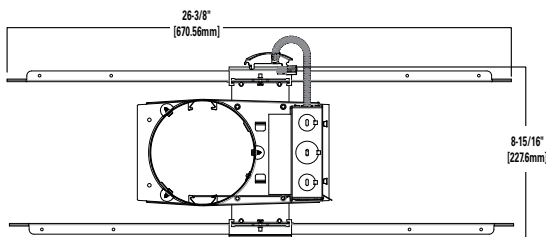


Top Product Features

- New construction/remodel series; 500 to 6,000 lumens
- Narrow, Medium and Wide distributions; Wall wash with rotatable linear spread lens
- 2700K, 3000K, 3500K, 4000K and 5000K CCT; 80 or 90 CRI
- Universal voltage 120V-277V; Standard 0-10V driver dims to 1%
- Mounting frame converts to remodel that installs from below the ceiling
- Quick Spec emergency backup mounting frames - fast delivery option

Dimensional and Mounting Details

[additional product diagrams](#)



Mid Lumen (3000 – 4000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	5.6"	2.5"	2.9"
Medium	5.7"	2.6"	3.0"
Wide	5.5"	2.4"	2.8"
Baffle	5.5"	2.4"	2.8"

Mounting Frame Order Information

Sample Number : HC420D010REM7 - HM40525930 - 41MDC

A complete luminaire consists of a housing frame, LED module, and reflector (ordered separately)

Mounting Frame	Lumens	Driver Options	Factory Installed Emergency & Connected Lighting Options	Accessories (Order & Install Separately)
<p>HC4 = 4" new construction downlight housing</p> <p>HC4CP = 4" new construction housing, Chicago Plenum - CCEA compliant</p>	<p>05 = 500 lm 07 = 750 lm 10 = 1000 lm 15 = 1500 lm 20 = 2000 lm 25 = 2500 lm 30 = 3000 lm 35 = 3500 lm 40 = 4000 lm 45 = 4500 lm ⁽⁷⁾ 50 = 5000 lm ⁽⁷⁾ 55 = 5500 lm ⁽⁷⁾ 60 = 6000 lm ⁽⁷⁾</p>	<p>D010-UNV 120-277V, 50/60Hz, 0-10V 1%-100% dimming at 120-277V on 0-10V controls</p> <p>Canada Option 500-4000 lumens: D010347 = 347VAC 50/60Hz 0-10V 1%-100% dimming. For 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000lm models only ⁽¹⁾</p> <p>Canada Option 4500-6000 lumens: D010X347 = step down transformer factory installed (with standard "D010" 120V-277V LED driver). For 4500, 5000, 5500, 6000lm models only ⁽¹⁾</p> <p>DLV = Distributed Low Voltage dimming driver 1%-100%, 1000-4000 lumens only. For use with DLVP system only, refer to DLVP specifications for details. ⁽¹⁾</p>	<p>REM7 = 7 watt emergency battery pack with remote test / indicator light, use with D010 only ⁽¹⁾⁽²⁾⁽⁶⁾</p> <p>REM14 = 14 watt emergency battery pack with remote test / indicator light, use with D010 only ⁽¹⁾⁽²⁾⁽⁶⁾</p> <p>IEM7 = 7 watt emergency battery pack with integral test / indicator light, use with D010 only ⁽¹⁾⁽²⁾⁽⁶⁾⁽¹⁰⁾</p> <p>IEM14 = 14 watt emergency battery pack with integral test / indicator light, use with D010 only ⁽¹⁾⁽²⁾⁽⁶⁾⁽¹⁰⁾</p> <p>BOD7ST = 7.5 watt Bodine self-test emergency battery pack with remote test / indicator light, use with D010 only ⁽¹⁾⁽²⁾⁽⁶⁾</p> <p>WTA = Factory WaveLinX PRO Tilemount Sensor Kit ⁽⁴⁾</p> <p>WTK = Factory WaveLinX LITE Tilemount Sensor Kit ⁽⁵⁾</p> <p>WPN = WaveLinX PRO Wireless Node without Sensor ⁽¹¹⁾</p> <p>WLN = WaveLinX LITE Wireless Node without Sensor ⁽¹²⁾</p> <p>REM7 = 7 watt emergency battery pack with remote test / indicator light, use with DLV only ⁽¹⁾⁽²⁾⁽³⁾⁽⁶⁾</p> <p>REM14 = 14 watt emergency battery pack with remote test / indicator light, use with DLV only ⁽¹⁾⁽²⁾⁽³⁾⁽⁶⁾</p> <p>IEM7 = 7 watt emergency battery pack with integral test / indicator light, use with DLV only ⁽¹⁾⁽²⁾⁽³⁾⁽⁶⁾⁽¹⁰⁾</p> <p>IEM14 = 14 watt emergency battery pack with integral test / indicator light, use with DLV only ⁽¹⁾⁽²⁾⁽³⁾⁽⁶⁾⁽¹²⁾</p>	<p>HB128APK = L channel hanger bar, 26", pair (replacement)</p> <p>RMB22 = Adjustable wood joist mounting bars, pair, extend to 22" long</p> <p>H347 = 347 to 120V step down transformer, 75VA</p> <p>H347200 = 347 to 120V step down transformer, 200VA</p> <p>WTA = Field WaveLinX PRO Tilemount Sensor Kit ⁽⁴⁾</p> <p>WTK = Field WaveLinX LITE Tilemount Sensor Kit ⁽⁵⁾</p>
Notes	Notes	Notes	Notes	Notes
	(7) Marked Spacing: Center to Center of Adjacent Luminaires = 36" Center of Luminaire to Building Member = 18" Minimum overhead = 0.5	(1) Not available with CP models	(1) Not available with CP models (2) Not available with D010347 (347V models) (3) ULus for U.S. only (4) WTA = WaveLinX tilemount sensor kit for daylight dimming, PIR motion sensing, and optional RLTS - Real Time Location Services, use with D010 only (Refer to WaveLinX specifications) (5) WTK = WaveLinX LITE tilemount sensor kit for daylight dimming, PIR motion sensing, use with D010 only (Refer to WaveLinX LITE specifications) (6) Emergency battery backup options are Non-IC only, and rated for a minimum starting temperature of 0°C (10) IEM option requires compatible IEM reflector or baffle trim. See Trim Ordering below. (11) WPN = WaveLinX PRO wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. Not compatible with 347V or Chicago plenum. (Refer to WaveLinX PRO specifications.) (12) WLN = WaveLinX LITE wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. Not compatible with 347V or Chicago plenum. (Refer to WaveLinX LITE specifications.)	(4) WTA = WaveLinX PRO tilemount sensor kit for daylight dimming, PIR motion sensing, and optional RLTS - Real Time Location Services, use with D010 only. (Refer to WaveLinX PRO specifications.) (5) WTK = WaveLinX LITE tilemount sensor kit for daylight dimming, PIR motion sensing, use with D010 only. (Refer to WaveLinX LITE specifications.)

Quick Spec Emergency Mounting Frame Order Information

Sample Number :

Quick Spec Emergency Mounting Frame: RR-HC420D010REM7

LED module and reflectors are ordered separately.

Order separately: LED Module: HM40525835 | Reflector: 41MDC

Select from the Quick Spec Mounting Frame ordering information to receive the **Fast Delivery** option for the frame.

Quick Spec Code	Mounting Frame	Lumens	Driver Options	Factory Installed Emergency Options	Accessories (Order & Install Separately)
<p>RR = East Region BRR = West Region</p>	<p>HC4 = 4" new construction downlight housing</p>	<p>10 = 1000 lm 15 = 1500 lm 20 = 2000 lm 30 = 3000 lm 40 = 4000 lm</p>	<p>D010-UNV 120-277V, 50/60Hz, 0-10V 1%-100% dimming at 120-277V on 0-10V controls</p>	<p>REM7 = 7 watt emergency battery pack with remote test / indicator light, use with D010 only ⁽²⁾⁽⁶⁾</p> <p>REM14 = 14 watt emergency battery pack with remote test / indicator light, use with D010 only ⁽²⁾⁽⁶⁾</p> <p>IEM7 = 7 watt emergency battery pack with integral test / indicator light, use with D010 only ⁽²⁾⁽⁶⁾⁽¹⁰⁾</p> <p>IEM14 = 14 watt emergency battery pack with integral test / indicator light, use with D010 only ⁽²⁾⁽⁶⁾⁽¹⁰⁾</p>	<p>HB128APK = L channel hanger bar, 26", pair (replacement)</p> <p>RMB22 = Adjustable wood joist mounting bars, pair, extend to 22" long</p>
Notes	Notes	Notes	Notes	Notes	Notes
				(2) Not available with D010347 (347V models) (6) Emergency battery backup options are Non-IC only, and rated for a minimum starting temperature of 0°C (10) IEM option requires compatible IEM reflector or baffle trim. See Trim Ordering below.	

LED Module Order Information

LED Module	Lumens	CRI/CCT	
HM4 = 4" LED module	0525 = 500 - 2500 lumen 3040 = 3000-4000 lumen 4560 = 4500-6000 lumen	827 = 80CRI, 2700K 830 = 80CRI, 3000K 835 = 80CRI, 3500K 840 = 80CRI, 4000K 850 = 80CRI, 5000K	927 = 90CRI, 2700K 930 = 90CRI, 3000K 935 = 90CRI, 3500K 940 = 90CRI, 4000K 950 = 90CRI, 5000K
Notes	Notes	Notes	

Trim Order Information

Reflector	Distribution ⁽⁸⁾	Finish	Flange	Accessories
41 = 4" conical reflector	ND = narrow 50° beam angle 0.84 SC (nominal) MD = medium 60° beam angle 1.00 SC (nominal) WD = wide 75° beam angle 1.24 SC (nominal) RWW = rotatable wall wash with linear spread lens	C = Specular clear H = Semi-specular clear W = White	Blank = Polished flange standard with C & H reflectors Blank = White flange standard with W reflectors WF = White flange option available with C & H reflectors BF = Black Flange option available with C, H & W reflectors	41RWWPK = Replacement part kit - wall wash lens insert - for use with 41RWW* only.
Notes	Notes	Notes	Notes	Notes
	(8) Values are nominal for white reflector, others may vary.			

Baffle	Distribution ⁽⁸⁾	Finish	Flange	Accessories
41 = 4" baffle reflector	WD = wide 75° beam angle 1.24 SC (nominal) RWW = rotatable wall wash with linear spread lens	BB = Black baffle WB = White baffle	Blank = White flange standard with BB, & WB reflectors BF = Black flange option available with BB reflectors	41RWWPK = Replacement part kit - wall wash lens insert - for use with 41RWW* only.
Notes	Notes	Notes	Notes	Notes
	(8) Values are nominal for white reflector, others may vary.			

Reflector	Distribution ⁽⁸⁾	Finish	Flange
41PS = 4" non-conductive polymer 'dead front' conical reflector⁽⁹⁾	MD = medium 60° beam angle 1.00 SC (nominal)	W = White	Blank = White flange standard with W reflectors BF = Black Flange option available with W reflectors
Notes	Notes	Notes	Notes
(9) 41PS* is 1000-3000 lumens Non-IC rated. 500 & 750 lumens IC rated. 41PS is not for use over 3000 lumens in Non-IC or over 750 lumens in IC.	(8) Values are nominal for white reflector, others may vary.		

IEM Reflector	Distribution ⁽⁸⁾	Finish	Flange	Integral Emergency
41 = 4" conical reflector for integral emergency only	ND = narrow 50° beam angle 0.84 SC (nominal) MD = medium 60° beam angle 1.00 SC (nominal) WD = wide 75° beam angle 1.24 SC (nominal)	C = Specular clear H = Semi-specular clear W = White	Blank = Polished flange standard with C & H reflectors Blank = White flange standard with W reflectors WF = White flange option available with C & H reflectors BF = Black flange option available with C, H, & W reflectors	IEM = Reflector for use with integral emergency housings only. Provides access hole for integral emergency test switch.
Notes	Notes	Notes	Notes	Notes
	(8) Values are nominal for white reflector, others may vary.			

IEM Baffle	Distribution ⁽⁸⁾	Finish	Flange	Integral Emergency
41 = 4" baffle reflector for integral emergency only	WD = wide 75° beam angle 1.24 SC (nominal)	BB = Black baffle WB = White baffle	Blank = White flange standard with BB, & WB reflectors BF = Black flange option with BB reflectors	IEM = Reflector for use with integral emergency housings only. Provides access hole for integral emergency test switch.
Notes	Notes	Notes	Notes	Notes
	(8) Values are nominal for white reflector, others may vary.			

Product Specifications

Housing Frame

- Boat shaped galvanized steel plaster frame with adjustable plaster lip
- Accommodates 1/2" to 1-1/2" thick ceilings
- Installs in new construction or from below the finished ceiling (non-accessible) for remodeling
- Provided with two remodel clips to secure the frame to the ceiling

Universal Mounting Bracket

- Adjusts 2" vertically from above and below the ceiling
- Use with the included mounting bars or with 1/2" Electric Metallic Tube (EMT)
- Removable to facilitate remodeling installation from below the finished ceiling

Mounting Bars

- Captive pre-installed No Fuss™ mounting bars lock to T-grid with screwdriver or pliers
- Centering detents allow for consistent positioning of fixtures

LED Module

- Proximity phosphors over chip on board LEDs provide a uniform source with high efficiency and no pixilation
- Available in 80 or 90 color rendering index (CRI)
- Color accuracy within 3 SDCM provides color consistency and uniformity
- 90 CRI option: R9>50 (refer to chromaticity information for details)
- Available in 2700K, 3000K, 3500K, 4000K and 5000K correlated color temperature (CCT)
- Lumen options include 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000, 4500, 5000, 5500, 6000 lumens (nominal)
- Passive thermal management achieves 60,000 hours at 70% lumen maintenance (L70) in insulated ceilings (IC) and non-IC applications
- Integral diffuse lens provides visual shielding
- Integral connector allows quick connection to housing flex

Reflector

- Self-flanged aluminum reflectors available in narrow, medium or wide distribution patterns
- Medium distribution polymer non-conductive matte white reflector may be used to meet local codes for 'dead front' applications (500 & 750 lumen max. in IC and 3000 lumen max. in Non-IC)
- Wall wash reflector features a rotatable linear spread lens for alignment of vertical illumination
- Reflectors attach to LED module with three speed clamps
- Available in multiple painted or plated finishes

Reflector/Module Retention

- Reflector/module assembly is securely retained in the housing with two torsion springs

Driver

- Field-replaceable constant current driver provides low noise operation
- Universal 120-277VAC 50/60Hz input standard
- Continuous, 1% to 100% dimming with 0-10V analog control
- Optional low-voltage DC driver for use with Distributed Low Voltage Power (DLVP) system
- Distributed Low Voltage Power (DLVP) system combines power, lighting and controls with ease of installation (refer to DLVP Design Guide at www.cooperlighting.com for details)

Canada Options

- 347VAC 50/60Hz; 1% dimming on 0-10V analog control, for 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000 lumen models only
- 347V step down transformer factory installed with the standard "D010" 120V-277V, LED driver on 4500, 5000, 5500, 6000 lumen models only

Emergency Option

- Provides 90 minutes of standby lighting, meeting most life safety codes for egress lighting
- Available with integral or remote charge indicator and test switch
- Available Self-Test (self-diagnostic) with remote charge indicator and test switch
- Quick Spec emergency ordering option for quick-turn projects

Connected Lighting System

Two WaveLinX connected solutions to choose from. Refer to WaveLinX system specifications and application guides for details.

WaveLinX PRO Tilemount Sensor Kit

- WaveLinX PRO WTA tilemount sensor kit offers daylight dimming, PIR motion sensing, scene and zone configuration, automatic commissioning; and optional RLTS - Real Time Location Services available.

WaveLinX PRO Wireless Node

- WaveLinX PRO WPN wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. **Note:** Not compatible with 347V or Chicago plenum.

WaveLinX LITE Tilemount Sensor Kit

- WaveLinX LITE WTK tilemount sensor kit offers daylight dimming and PIR motion sensing, scene and grouping configuration.

WaveLinX LITE Wireless Node

- WaveLinX LITE WLN wireless node provides luminaire level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. **Note:** Not compatible with 347V or Chicago plenum.

WaveLinX Tilemount Sensor Kits Application

- The WTA and WTK tilemount sensor kits include a control module mounted on the luminaire junction box via 1/2" knock-out, and a tilemount sensor on 54-inch whip; for ceiling installation by direct-mount spring clips or via mounting bracket in octagon ceiling boxes.
- The WTA and WTK tilemount sensor kits may be ordered as factory installed on the luminaire, or ordered separately as a field installed accessory kit.
- **Note: WaveLinX PRO devices are only compatible with the WaveLinX PRO system.**
- **Note: WaveLinX LITE devices are only compatible with the WaveLinX LITE system.**

Junction Box

- Galvanized steel junction box
- 20 in³ internal volume excluding voltage barrier
- 25 in³ internal total volume
- Voltage barrier for 0-10V dimming wires (occupies one 1/2" pry-out space)
- Listed for eight #12 AWG (four in, four out) 90°C conductors and feed-thru branch wiring
- Three 1/2" and two 3/4" trade size pry-outs available
- Three 4-port push wire nuts for mains voltage with 1-port for fixture connection

Compliance

- cULus Certified to UL 1598 / C22.2 No. 250.0, suitable for damp locations and wet locations in covered ceilings only
- Emergency options provided with UL Listed emergency drivers to UL 924 / C22.2 No. 141, suitable for indoor/damp locations
- IP20 - Above finished ceiling; IP64 - Below finished ceiling
- Non-Insulated ceiling (Non-IC) rated for 2000, 2500, 3000, 3500, 4000, 4500, 5000, 5500, 6000 lumen models (insulation must be kept 3" from top and sides)
- Insulated ceiling (IC) rated for 500, 750, 1000, 1500 lumen models and suitable for direct contact with air permeable insulation* (IC models are also suitable for Non-IC installations)
- Non-IC marked spacing required for 4500, 5000, 5500, 6000 lumen models
 - Marked Spacing Center to Center of Adjacent Luminaires = 36"
 - Center of Luminaire to Building Member = 18"
 - Minimum overhead = 0.5"
- Airtight per ASTM-E283-04
- Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements
- EMI/RFI emissions FCC CFR Title 47 Part 15 Class A at 120/277V
- Contains no mercury or lead and RoHS compliant
- Photometric testing completed in accordance of IES LM-79-08
- Lumen maintenance projection in accordance of IES LM-80-08 and TM-21-11
- 1,000 and 1,500 lumen, 90 CRI, ICAT models may be used to comply with State of California Title 24 residential code, per JA8 certification standards
- May be used to comply with State of California Title 24 non-residential code as a dimmable LED luminaire
- ENERGY STAR® certified, reference certified light fixtures database
 - *Not for use in direct contact with spray foam insulation, consult NEMA LSD57-2013

Warranty

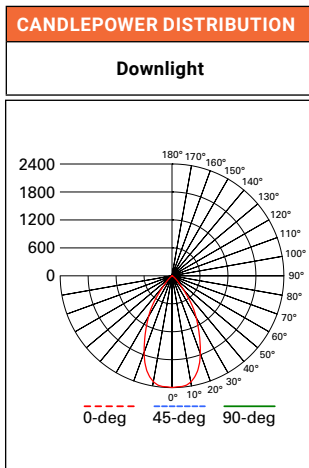
- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

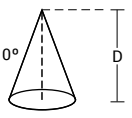
Photometric Data

 View IES files

NARROW DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

NARROW (50° BEAM*)	
Test Number	P571728
Housing	HC420D010
Module	HM40525835
Reflector	41NDC
Lumens	2010 Lm
Efficacy	100.5 Lm/W
SC	0.84
UGR	12.2



CONE OF LIGHT				
				
MH	FC	L	W	
5.5'	79.3	4.6	4.6	
7'	49	5.8	5.8	
8'	37.5	6.6	6.6	
9'	29.6	7.4	7.4	
10'	24	8.4	8.4	
12'	16.7	10	10	

CANDELA TABLE	
Degrees Vertical	Candela
0	2400
5	2387
15	2110
25	1368
35	676
45	152
55	23
65	5
75	1
85	0
90	0

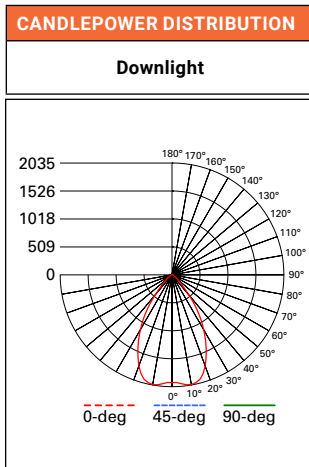
ZONAL LUMEN SUMMARY		
Zone	Lumens	% Fixture
0-30	1436	71.5
0-40	1848	92
0-60	2002	99.6
0-90	2010	100
90-180	0	0
0-180	2010	100

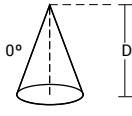
LUMINANCE	
Average Candela Degrees	Average 0° Luminance
45	26514
55	4968
65	1576
75	667
85	0

*Value are nominal for specular clear reflectors, other may vary.
SC = Spacing Criteria
UGR = Unified Glare Rating

MEDIUM DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

MEDIUM (60° BEAM*)	
Test Number	P571727
Housing	HC420D010
Module	HM40525835
Reflector	41MDC
Lumens	2096 Lm
Efficacy	104.8 Lm/W
SC	1.0
UGR	13.6



CONE OF LIGHT				
				
MH	FC	L	W	
5.5'	65.3	5.4	5.4	
7'	40.3	6.8	6.8	
8'	30.9	7.8	7.8	
9'	24.4	8.8	8.8	
10'	19.8	9.8	9.8	
12'	13.7	11.8	11.8	

CANDELA TABLE	
Degrees Vertical	Candela
0	1969
5	1997
15	1974
25	1467
35	800
45	192
55	26
65	4
75	1
85	0
90	0

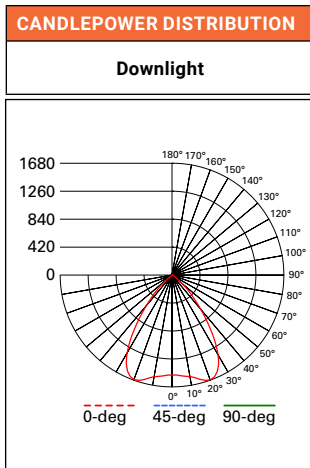
ZONAL LUMEN SUMMARY		
Zone	Lumens	% Fixture
0-30	1408	67.1
0-40	1899	90.6
0-60	2091	99.7
0-90	2096	100
90-180	0	0
0-180	2096	100

LUMINANCE	
Average Candela Degrees	Average 0° Luminance
45	33405
55	5548
65	1197
75	667
85	0

*Value are nominal for specular clear reflectors, other may vary.
SC = Spacing Criteria
UGR = Unified Glare Rating

WIDE DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

WIDE (75° BEAM*)	
Test Number	P571730
Housing	HC420D010
Module	HM40525835
Reflector	41WDC
Lumens	2304 Lm
Efficacy	115.2 Lm/W
SC	1.25
UGR	15.7



CONE OF LIGHT			
MH	FC	L	W
5.5'	49.9	6.8	6.8
7'	30.8	8.6	8.6
8'	23.6	9.8	9.8
9'	18.6	11.2	11.2
10'	15.1	12.4	12.4
12'	10.5	14.8	14.8

CANDELA TABLE	
Degrees Vertical	Candela
0	1509
5	1525
15	1630
25	1603
35	1012
45	369
55	44
65	5
75	1
85	0
90	0

ZONAL LUMEN SUMMARY		
Zone	Lumens	% Fixture
0-30	1334	57.9
0-40	1960	85.1
0-60	2296	99.7
0-90	2304	100
90-180	0	0
0-180	2304	100

LUMINANCE	
Average Candela Degrees	Average 0° Luminance
45	64437
55	9355
65	1576
75	667
85	0

*Value are nominal for specular clear reflectors, other may vary.
 SC = Spacing Criteria
 UGR = Unified Glare Rating

Photometric Multipliers (Nominal Lumen Values)

500 Lumen	750 Lumen	1000 Lumen	1500 Lumen	2000 Lumen	2500 Lumen	3000 Lumen	3500 Lumen
0.33	0.44	0.54	0.74	1.00	1.24	1.54	1.85

4000 Lumen	4500 Lumen	5000 Lumen	5500 Lumen	6000 Lumen
2.15	2.28	2.44	2.52	2.62

Multipliers for relative lumen values with other series models.

Color Finish Multipliers

Finish code	C	H	W/WB	BB
Finish	Specular Clear	Semi-Specular	Matte White White Baffle	Black Baffle
Multiplier	1.00	0.94	0.88	0.76

Multipliers for relative lumen values with other color finishes.

CCT Multipliers – 80CRI

2700K	3000K	3500K	4000K	5000K
0.89	0.96	1.00	1.03	1.03

Multipliers for relative lumen values with other series color temperatures.

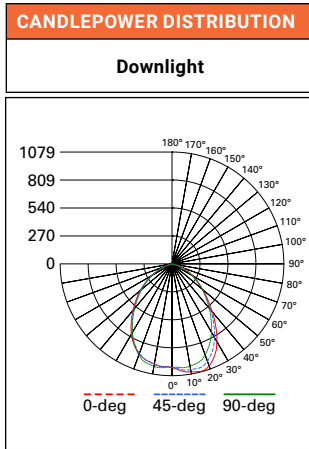
CCT Multipliers – 90CRI

2700K	3000K	3500K	4000K	5000K
0.76	0.85	0.89	0.93	0.93

Multipliers for relative lumen values with other series color temperatures.

WALL WASH DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

WALL WASH	
Test Number	P571729
Housing	HC420D010
Module	HM40525835
Reflector	41RWWC
Lumens	2094 Lm
Efficacy	104.7 Lm/W
SC	1.15



CANDELA TABLE	
Degrees Vertical	Candela
0	1005
5	1041
15	1079
25	980
35	743
45	494
55	312
65	180
75	80
85	10
90	0

ZONAL LUMEN SUMMARY		
Zone	Lumens	% Fixture
0-30	789	37.7
0-40	1221	58.3
0-60	1872	89.4
0-90	2094	100
90-180	0	0
0-180	2094	100

LUMINANCE	
Average Candela Degrees	Average 0° Luminance
45	86207
55	67159
65	52681
75	38173
85	13445

SC = Spacing Criteria, nominal for specular clear reflector, other may vary.

SINGLE UNIT FOOTCANDLES								
2.5' from wall (distance from fixture along wall)								
1	18.7	13.6	6.1	2.3	0.8	0.3	0.1	
2	28.4	22.3	12.2	5.7	2.6	1.2	0.6	
3	25.9	21.4	13.3	7.2	3.8	2	1.1	
4	19.6	16.9	11.6	7	4.1	2.4	1.4	
5	13.6	12.3	9.2	6.2	3.9	2.5	1.5	
6	9.3	8.6	7	5.1	3.5	2.3	1.6	
7	6.4	6.1	5.2	4.1	3	2.1	1.5	
8	4.6	4.4	3.9	3.2	2.5	1.8	1.3	
9	3.3	3.2	2.9	2.5	2	1.6	1.2	
10	2.5	2.4	2.2	2	1.7	1.4	1.1	

MULTIPLE UNIT FOOTCANDLES								
2.5' from wall (Distance from fixture along wall)				2.5' from wall (Distance from fixture along wall)				
1	21	18.8	21	19.5	12.1	19.5		
2	34.1	34.1	34.1	31	24.4	31		
3	33.1	34.4	33.1	29.7	26.5	29.7		
4	26.7	28.7	26.7	23.7	23.3	23.7		
5	19.8	21.7	19.8	17.5	18.5	17.5		
6	14.4	15.8	14.4	12.8	14	12.8		
7	10.5	11.4	10.5	9.4	10.4	9.4		
8	7.8	8.3	7.8	7	7.7	7		
9	5.8	6.2	5.8	5.4	5.9	5.4		
10	4.4	4.7	4.4	4.1	4.5	4.1		

Photometric Multipliers (Nominal Lumen Values)

500 Lumen	750 Lumen	1000 Lumen	1500 Lumen	2000 Lumen	2500 Lumen	3000 Lumen	3500 Lumen
0.33	0.44	0.54	0.74	1.00	1.24	1.54	1.85

4000 Lumen	4500 Lumen	5000 Lumen	5500 Lumen	6000 Lumen
2.15	2.28	2.44	2.52	2.62

Multipliers for relative lumen values with other series models.

Color Finish Multipliers

Finish code	C	H	W/WB	BB
Finish	Specular Clear	Semi-Specular	Matte White White Baffle	Black Baffle
Multiplier	1.00	0.94	0.88	0.76

Multipliers for relative lumen values with other color finishes.

CCT Multipliers - 80CRI

2700K	3000K	3500K	4000K	5000K
0.89	0.96	1.00	1.03	1.03

Multipliers for relative lumen values with other series color temperatures.

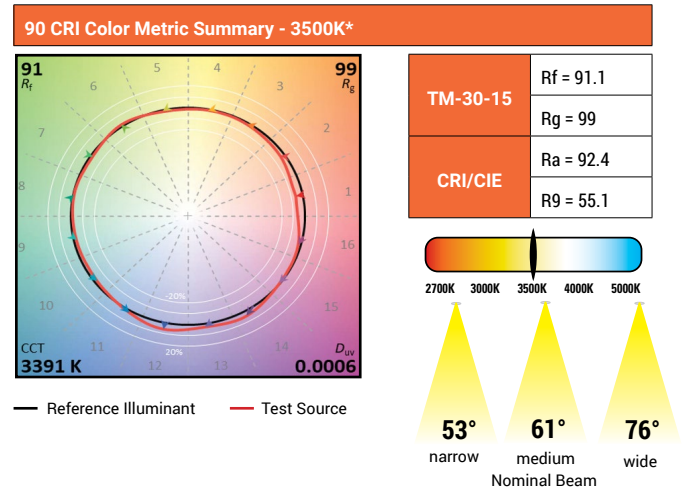
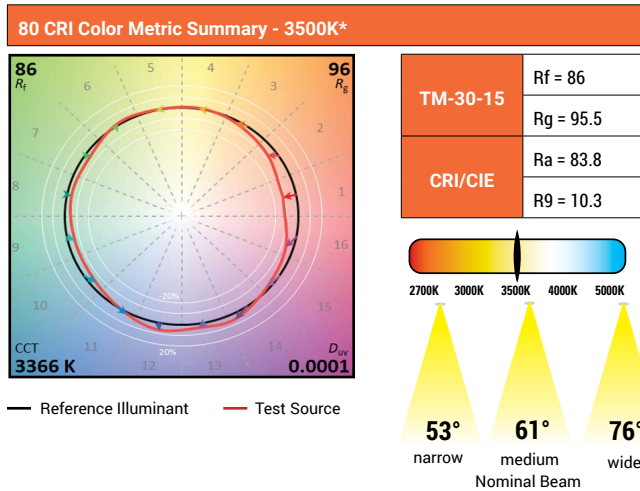
CCT Multipliers - 90CRI

2700K	3000K	3500K	4000K	5000K
0.76	0.85	0.89	0.93	0.93

Multipliers for relative lumen values with other series color temperatures.

Energy & Performance Data

COLOR METRICS - TM-30-15 & CRI/CIE (3500K)



* Color values are based on 61WDWB reflector, other finishes and field results may vary.

ENERGY DATA

Series	500 lumen		750 lumen		1000 lumen		1500 lumen		2000 lumen	
	120V	277V	120V	277V	120V	277V	120V	277V	120V	277V
Input Voltage 120-277VAC	120V	277V	120V	277V	120V	277V	120V	277V	120V	277V
Input Current (A)	0.051	0.026	0.067	0.036	0.083	0.039	0.119	0.053	0.171	0.077
Input Power (W)	6.1	6.5	7.9	8.3	10	10.4	14.5	14.5	20.9	20.6
In-rush (A)	1.9	8.4	2	8.4	2.2	8.5	2.7	8.5	2.1	9.7
Inrush duration (µs)	251	135	237	133	250	134	250	139	245	131
THD (%)	6.2	13.5	7.4	8.8	5.4	10.3	10	6.7	6.5	7.9
PF	≥ 0.99	≥ 0.9	≥ 0.98	≥ 0.92	≥ 0.99	≥ 0.95	≥ 0.99	≥ 0.97	≥ 0.99	≥ 0.96

Series	2500 lumen		3000 lumen		3500 lumen		4000 lumen		4500 lumen	
	120V	277V	120V	277V	120V	277V	120V	277V	120V	277V
Input Voltage 120-277VAC	120V	277V	120V	277V	120V	277V	120V	277V	120V	277V
Input Current (A)	0.23	0.103	0.24	0.107	0.292	0.152	0.351	0.159	0.384	0.172
Input Power (W)	27.5	27.5	28.6	28.5	34.6	35.1	42.1	42.1	45.9	45.6
In-rush (A)	2.5	5.6	2.5	11.6	3.4	13.9	3.1	14.7	3.1	14.8
Inrush duration (µs)	232	123	216	111	183	95	200	98	202	100
THD (%)	6.5	8.1	7.8	8.3	5.6	10	4.1	9.5	4.5	8.5
PF	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.93	≥ 0.99	≥ 0.94	≥ 0.99	≥ 0.95

Series	5000 lumen		5500 lumen		6000 lumen	
	120V	277V	120V	277V	120V	277V
Input Voltage 120-277VAC	120V	277V	120V	277V	120V	277V
Input Current (A)	0.419	0.186	0.457	0.201	0.489	0.214
Input Power (W)	50.1	49.5	54.6	53.7	58.4	57.4
In-rush (A)	3.1	15	3.2	14.8	3.4	14.8
Inrush duration (µs)	202	117	196	131	192	121
THD (%)	5.5	7.6	7	7.2	8.1	7.2
PF	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.97

Minimum starting temperature -30°C (-22°F)*
(Nominal input 120-277VAC & 100% of rated output power)

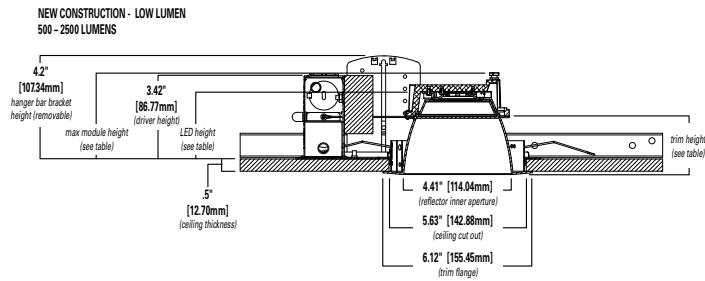
Sound Rating: Class A standards

Notes:

* Emergency Battery packs are rated for a minimum starting temperature of 0°C.

Dimensional and Mounting Details

NEW CONSTRUCTIONS - LOW LUMEN 500 – 2500 LUMENS



Low Lumen (500 – 2500 Lumens)*

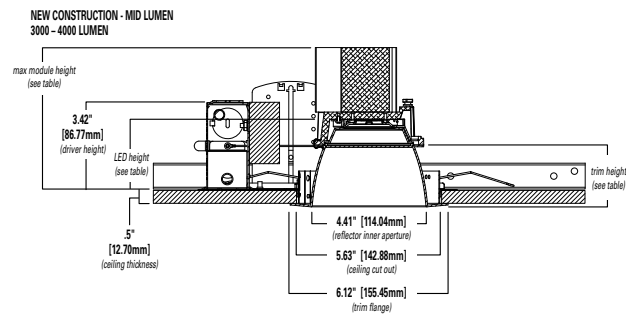
Distribution	Max. Module Height	Trim Height	LED Height
Narrow	3.6"	2.5"	2.7"
Medium	3.7"	2.6"	2.8"
Wide	3.5"	2.4"	2.6"
Baffle	3.1"	2.4"	2.6"

*Max. height w/removable hanger bar bracket 4.2"



Low Lumen Module

NEW CONSTRUCTIONS - MID LUMEN 3000 – 4000 LUMENS



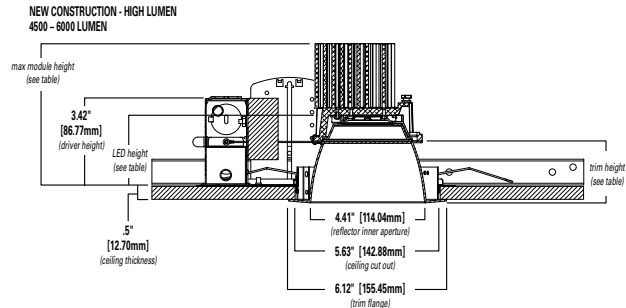
Mid Lumen (3000 – 4000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	5.6"	2.5"	2.9"
Medium	5.7"	2.6"	3.0"
Wide	5.5"	2.4"	2.8"
Baffle	5.5"	2.4"	2.8"



Mid Lumen Module

NEW CONSTRUCTIONS - HIGH LUMEN 4500 – 6000 LUMENS



High Lumen (4500 – 6000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	5.9"	2.5"	2.9"
Medium	6.0"	2.6"	3.0"
Wide	5.8"	2.4"	2.8"
Baffle	5.8"	2.4"	2.8"



High Lumen Module

Connected Solutions

WaveLinx LITE - WTK Tilemount Sensor

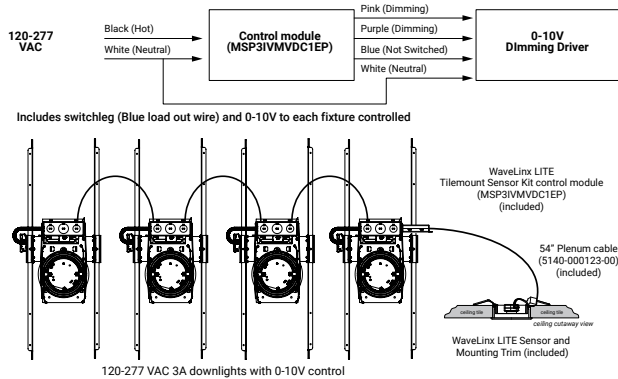
WaveLinx LITE devices only compatible with the WaveLinx LITE system.



- Intuitive Android™ or Apple® iOS® app for basic system code compliant set up and configuration via Bluetooth
- Up to 28 unique areas per project site (WaveLinx LITE Bluetooth network)
- Up to 50 devices for an area, any one of 16 control zones, up to 6 occupancy sets, and custom lighting scenes
- Automatic occupancy or vacancy, sensor sensitivity, daylight dimming, etc. configurable through the app
- Refer to the WaveLinx system specifications for details



WaveLinx LITE WTK Tilemount Wiring Diagram

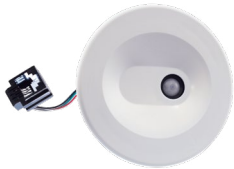


WaveLinx LITE Bluetooth Enabled System



WaveLinx PRO – WTA Tilemount Sensor

WaveLinx PRO devices only compatible with the WaveLinx PRO system.



- WaveLinx PRO tilemount functionality configures zones and customizes settings from one secure mobile app
- Automatic code commissioning that meets the strictest codes
- Fixtures and sensors integrate with Wireless Area Controller, Wall Stations, and Control Devices
- Stand-Alone Offices or Entire Building Network Installations

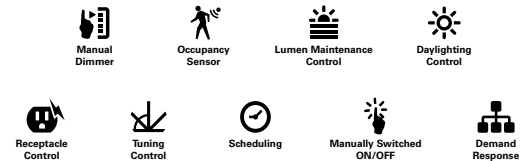
Downlights with tilemount sensor
Highly efficient LED fixtures

WaveLinx Area Controller
Provides centralized coordination of multiple area control options

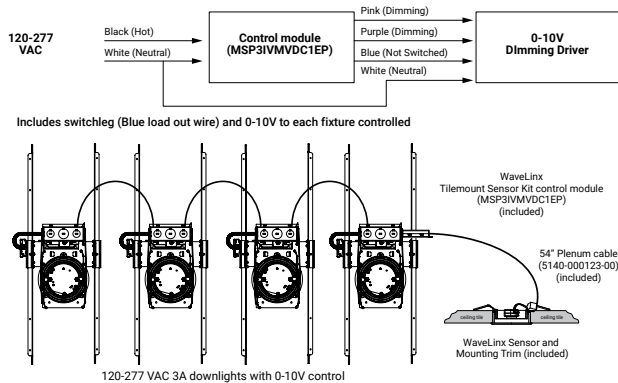
Wireless Wall Station/Receptacle
Provides customized wireless control of each area

Mobile Applications
Provides personalized, local control from a tablet or smartphone

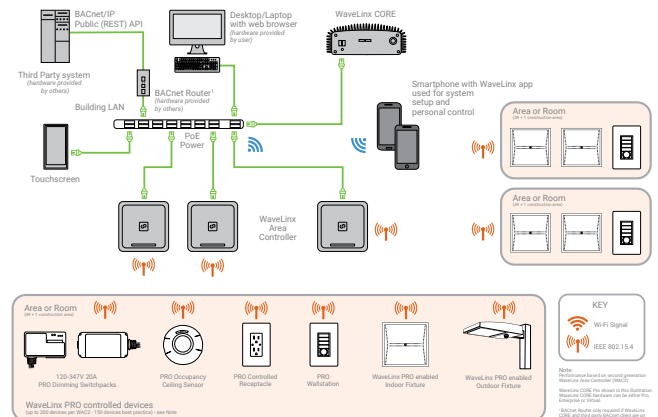
WaveLinx mobile app settings



WaveLinx WTA Tilemount Wiring Diagram



WaveLinx CORE Building Management Integration



Connected Solutions



WaveLinX LITE Wireless Node - WLN

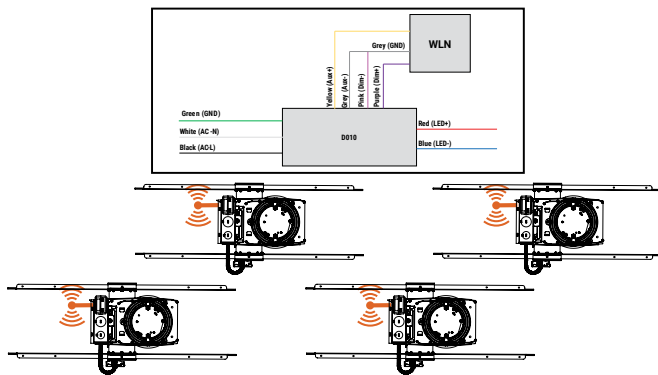
WaveLinX LITE devices only compatible with the WaveLinX LITE system.

- Intuitive Android™ or Apple® iOS® app for basic system code compliant set up and configuration via Bluetooth
- Up to 28 unique areas per project site (WaveLinX LITE Bluetooth network)
- Up to 50 devices for an area, any one of 16 control zones, up to 6 occupancy sets, and custom lighting scenes
- Refer to the WaveLinX system specifications for details

WaveLinX mobile app settings



WaveLinX LITE Wireless Node (WLN) Wiring Diagram



WaveLinX LITE Bluetooth Enabled System



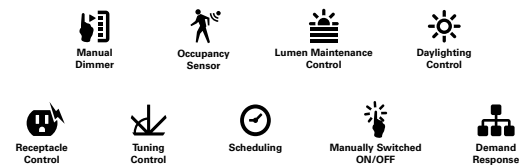
WaveLinX PRO Wireless Node - WPN

WaveLinX PRO devices only compatible with the WaveLinX PRO system.

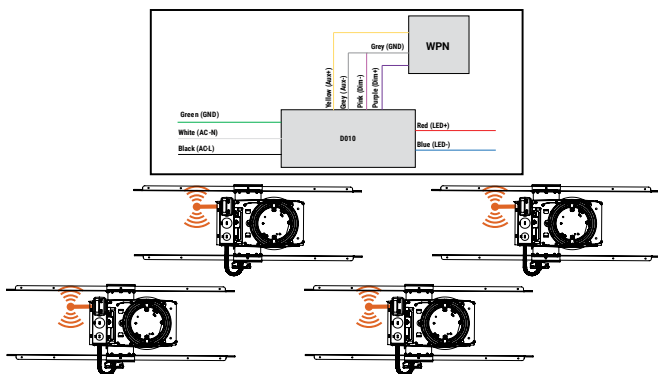


- WaveLinX Wireless functionality configures zones and customizes settings from one secure mobile app
- Automatic code commissioning that meets the strictest codes
- Fixtures and sensors integrate with WaveLinX Area Controller, Wall Stations, and Control Devices
- Stand-Alone Offices or Entire Building Network Installations

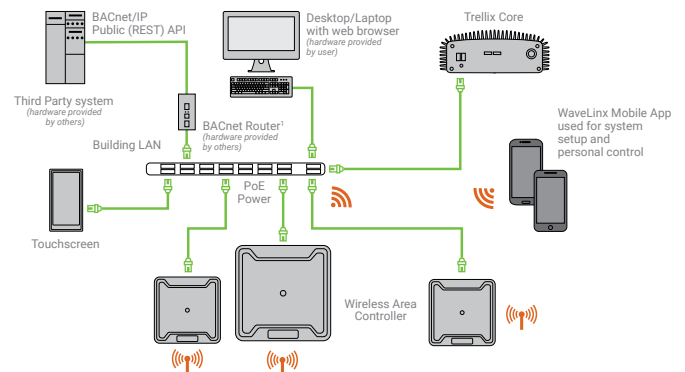
WaveLinX mobile app settings



WaveLinX PRO Wireless Node (WPN) Wiring Diagram



WaveLinX CORE Building Management Integration



WAC LIGHTING

Corte

Outdoor Wall Sconce

Fixture Type: _____

Catalog Number: _____

Project: _____

Location: _____

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W15216 16"	3000K	BK Black	17W	1365	954
	3500K		17W	1416	988
	4000K		17W	1388	980

Example: **WS-W15216-40-BK**

For custom requests please contact customs@wacighting.com

DESCRIPTION

A sublime luminous spirit, this cutting edge wall luminaire's design and brilliant illumination adds style to your exterior.

FEATURES

- Built in color temperature adjustability. Switch from 3000K/3500K/4000K.
- Option to pre-select color temperature or adjust in the field
- ACLED driverless technology
- 5 Year warranty

SPECIFICATIONS

Color Temp:	4000K,3500K,3000K
Input:	120 VAC,50/60Hz
CRI:	90
Dimming:	ELV: 100-10% ,TRIAC: 100-10%
Rated Life:	54000 Hours
Mounting:	Can be mounted on wall in all orientations
Standards:	ETL, cETL,IP65,Title 24 JA8 Compliant,ADA Wet Location Listed
Construction:	Aluminum body, bend etched acrylic diffuser

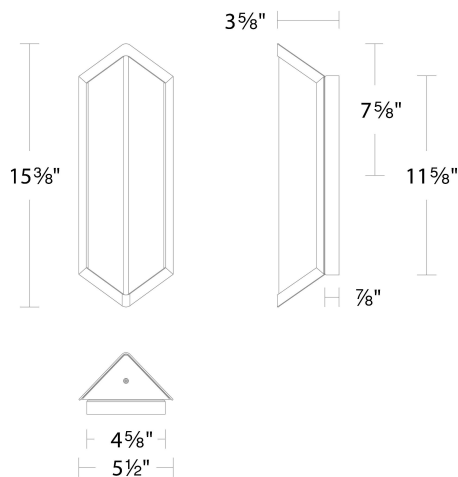


FINISHES:



Black

LINE DRAWING:



WS-W15216

WAC LIGHTING

Corte

Outdoor Wall Sconce

Fixture Type: _____

Catalog Number: _____

Project: _____

Location: _____

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W15224 24"	3000K	BK Black	25W	2091	1487
	3500K		25W	2150	1527
	4000K		25W	2103	1486

Example: **WS-W15224-40-BK**

For custom requests please contact customs@wacighting.com

DESCRIPTION

A sublime luminous spirit, this cutting edge wall luminaire's design and brilliant illumination adds style to your exterior.

FEATURES

- Built in color temperature adjustability. Switch from 3000K/3500K/4000K.
- Option to pre-select color temperature or adjust in the field
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SPECIFICATIONS

Color Temp:	4000K,3500K,3000K
Input:	120 VAC,50/60Hz
CRI:	90
Dimming:	ELV: 100-10% ,TRIAC: 100-10%
Rated Life:	54000 Hours
Mounting:	Can be mounted on wall in all orientations
Standards:	ETL, cETL,IP65,Title 24 JA8 Compliant,ADA Wet Location Listed
Construction:	Aluminum body, bend etched acrylic diffuser

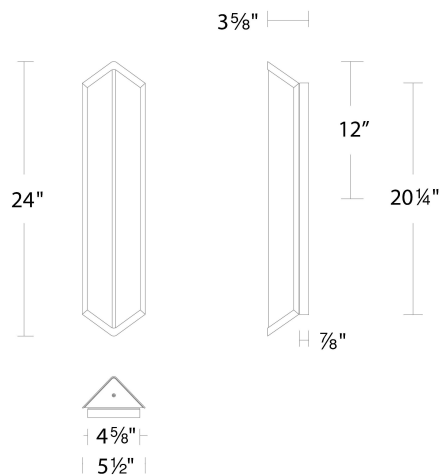


FINISHES:



Black

LINE DRAWING:



WS-W15224

SHIELD+ 1



Long-lasting energy-efficient wall pack series. Fixtures consist of:

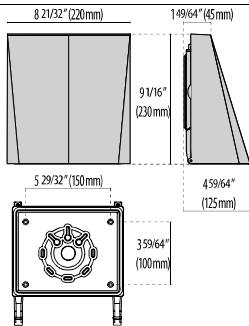
- Multi-step powder-coat painting process, optimized against UV rays and corrosion.
- Copper-free precision die-cast aluminum housing and mounting plate.
- Extra-clear, flat, tempered silk-screened soda-lime glass diffuser.
- Custom molded, anti-aging gasket(s).
- Stainless steel external hardware.
- High-efficiency COB, combined with an optimized passive cooling system, provides a long LED life.
- Specular vacuum metallized polycarbonate reflector provides full-cutoff, no glare design, and precision optical control.
- IESNA Type III light distribution.
- Input voltage: 120-277 V (50 / 60 Hz), integral 1-10 V dimming driver.

- Field settable integral tri-level lumen/wattage packages proprietary DIP switch driver for SHIELD+ 1 (stating factory setting at the lowest level).
- Standard knock-out template for multiple junction box mounting options.
- Suitable for three surface mounted conduit entry points with 1/2" NPS plugs.
- BUTTON and SWIVEL 120-277 V (50 / 60 Hz) photoelectric switch options available (ordered separately).
- Consult factory for dimming options, custom finishes (please specify RAL color), and non-cataloged CCT (Kelvin) options.
- Consult factory for remote emergency battery pack options (EMPK).
- Product meets Buy American Act requirements within ARRA.
- 5-year warranty.
- Marine Grade finish.
- Suitable for Natatorium applications.



FINISHES

- AN-96 / Iron gray / Textured
- GR-94 / Aluminum metallic / Textured
- RB-10 / Iron rust / Textured
- WH-87 / White / Textured
- BK-81 / Black / Textured



SHIELD+ 1

Scan here
for installation
instructions



Lumen Output	27K	3K	35K	4K	5K
SHIELD+1 8W	929	957	984	1012	1039
SHIELD+1 10W	1209	1228	1247	1267	1286
SHIELD+1 13.5W	1448	1556	1664	1773	2516
SHIELD+1 18W	1906	2059	2211	2364	2516
SHIELD+1 27W	2478	2676	2874	3072	3270

Order Guide –

Order code example: SH1-10-80-3K-IG-UNV-NA-EMPK

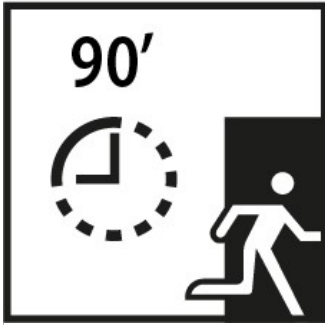
Series	Wattage	CRI	CCT	Finish	Voltage	Controls	Accessories
SH1 Shield+1	6 6 watt (minimum)	80 80 CRI*	27K 2700K	AM Aluminum Metallic*	UNV 120-277V*	NA Non-Dim	EMPK Integral Battery pack**
	8 8 watt	90 90 CRI	3K 3000K	IG Iron Gray*		0-10V 0-10V Dim*	OCC Field programmable occupancy sensor hi/lo & on/off
	10 10 watt		35K 3500K	WH Textured White*		ELV 120V-Line Voltage DIM	REM Remote Battery pack
	13.5 13.5 watt*	4K 4000K*	IR Iron Rust*	PHC-B Button Photocell			
	14.5 14.5 watt	5K 5000K	BK Textured Black	PHC-S Swivel Photocell			
	18 18.5 watt*	65K 6500K	RED Static Red	FRST Frosted Glass			
	27 27 watt*	GRN Static Green	CC Custom Color	BOL 40" Bollard			
	28 28 watt* (EMPK max)	BLU Static Blue		BABAA Build America Buy America Act compliant			
		AMB Static Amber					
		RGBW See below for details					

80 CRI STANDARD - OTHER OPTIONS AVAILABLE

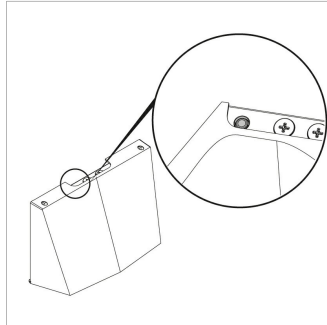
STANDARD OPTION, SHORTER LEAD TIME, NO MOQ

OPTIONAL ACCESSORIES

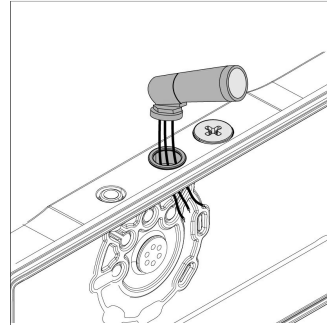
DESCRIPTION	FINISH	PART NUMBER
SHIELD+1		



EMPK



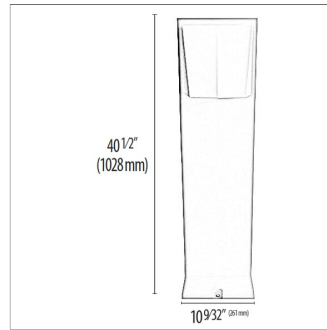
PHC-B



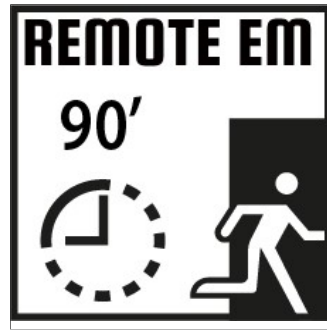
PHC-S



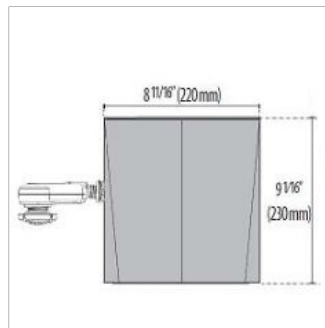
FRST



BOL



REM



OCC

RGBW ACCESSORIES

Power Supply



17433
Kit driver 48V



17096
Kit driver 48V WP

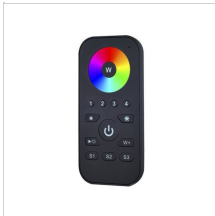
RF Controls



3104173
RGBW RF controller 4 channel
(0.35A each CH)



31041730
RGBW RF controller WP 4 channel
(0.35A each CH)



310429
RGBW hand held remote

DMX Controls



178973
RGBW DMX enabler/decoder 4
channel (0.35A each CH)



1789730
RGBW DMX enabler/decoder WP 4
channel (0.35A each CH)